



A meeting of the **DEVELOPMENT MANAGEMENT COMMITTEE** will be held in **THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN** on **MONDAY, 16TH SEPTEMBER 2024** at **7:00 PM** and you are requested to attend for the transaction of the following business:-

AGENDA

PLEASE NOTE THE ORDER OF THE AGENDA MAY CHANGE

APOLOGIES

1. MINUTES (Pages 5 - 6)

To approve as a correct record the Minutes of the meeting held on 19th August 2024.

2. MEMBERS' INTERESTS

To receive from Members declarations as to disclosable pecuniary, other registerable and non-registerable interests in relation to any Agenda item. See Notes below.

3. APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

To consider reports by the Planning Service Manager (Development Management).

(a) Ramsey - 24/01173/S73 (Pages 7 - 18)

Variation of Condition 2 (Development in Accordance with Plans) for 23/01189/FUL - 62 High Street, Ramsey, PE26 1AA.

(b) St Neots - 24/00515/HDC (Pages 19 - 52)

Refurbishment and extension of existing community building and town council offices to include demolition of existing single storey extension and replacement two-storey extension with screened plant at roof level, first floor extensions to east and west elevations, glazed dormer window to east elevation, creation of external ramps and steps, canopies over entrances, glazed ground floor link extension on

west elevation, installation of solar panels, replacement chimney, new balcony to west elevation, alterations to balustrade on riverside and replacement fenestration and doors - Priory Centre, Priory Lane, St Neots, PE19 2BH.

(c) Somersham - 24/00900/HHFUL (Pages 53 - 66)

Erection of replacement garage - 29 Springfield, Somersham, Huntingdon, PE28 3ED.

(d) Farcet - 23/02502/FUL (Pages 67 - 92)

Erection of 12 single bedroom assisted living apartments (Use Class C3) with ancillary office and communal area requiring the demolition of a dwelling, retail unit and equine facilities – 93 Peterborough Road, Farcet, Peterborough, PE7 3BN.

4. APPEAL DECISIONS (Pages 93 - 94)

To consider a report by the Planning Service Manager (Development Management).

LATE REPRESENTATIONS

6th day of September 2024

Michelle Sacks

Chief Executive and Head of Paid Service

Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests

Further information on [Disclosable Pecuniary Interests and other Registrable and Non-Registrable Interests is available in the Council's Constitution](#)

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Please contact Anthony Roberts, Democratic Services, Tel: 01480 388015 / email Anthony.Roberts@huntingdonshire.gov.uk if you have a general query on any Agenda Item, wish to tender your apologies for absence from the meeting, or would like information on any decision taken by the Committee.

Specific enquiries with regard to items on the Agenda should be directed towards the Contact Officer.

Members of the public are welcome to attend this meeting as observers except during consideration of confidential or exempt items of business.

Agenda and enclosures can be viewed on the [District Council's website](#).

Emergency Procedure

In the event of the fire alarm being sounded and on the instruction of the Meeting Administrator, all attendees are requested to vacate the building via the closest emergency exit.

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HUNTINGDONSHIRE DISTRICT COUNCIL

MINUTES of the meeting of the DEVELOPMENT MANAGEMENT COMMITTEE held in THE CIVIC SUITE (LANCASTER/STIRLING ROOMS), PATHFINDER HOUSE, ST MARY'S STREET, HUNTINGDON, PE29 3TN on Monday, 19 August 2024

PRESENT: Councillor S Mokbul – Vice-Chair in the Chair.

Councillors R J Brereton, E R Butler, J Clarke, D B Dew, K P Gulson, P A Jordan, S R McAdam, S Mokbul, J Neish, B M Pitt, T D Sanderson, C H Tevlin and S Wakeford.

APOLOGIES: Apologies for absence from the meeting were submitted on behalf of Councillors S J Corney and R A Slade.

14 MINUTES

The Minutes of the meeting of the Committee held on 15th July 2024 were approved as a correct record and signed by the Chair.

15 MEMBERS' INTERESTS

Councillor J Clarke declared an Other Registerable Interest in Minute No 16 (d) by virtue of the fact that the application related to the Ward he represents.

Councillor R Brereton declared an Other Registerable Interest in Minute No 16 (d) by virtue of the fact that the application related to the Ward he represents.

Councillor J Neish declared an Other Registerable Interest in Minute No 16 (c) by virtue of the fact that the application related to the Ward he represents.

Councillor B Pitt declared an Other Registerable Interest in Minute No 16 (d) by virtue of the fact that he was Executive Councillor with responsibility for One Leisure and took no part in the discussion or voting on the item.

16 APPLICATIONS REQUIRING REFERENCE TO DEVELOPMENT MANAGEMENT COMMITTEE

The Planning Service Manager (Development Management) submitted reports (copies of which are appended in the Minute Book) on applications for development to be determined by the Committee. Members were advised of further representations, which had been received since the reports had been prepared. Whereupon, it was

RESOLVED

- a) **Installation of two rooflights to south facing roof slope of existing single-storey projection to rear - 73 High Street, Offord Darcy, St Neots - 24/00905/HHFUL**

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include that in paragraph 8 of the report now submitted.

- b) Erection of a self-build dwelling following the demolition of the existing attached garage - 12 Parkhall Road, Somersham, Huntingdon - 24/00926/FUL**

(Councillor R Sutton, Somersham Parish Council, R Port, objector, and I Stancombe, applicant, addressed the Committee on the application).

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

- c) Variation of Condition 2 (Approved Plans) and Condition 3 (Materials) for 23/00816/FUL to remove rear conservation and insertion of bifold doors, grey roof tiles instead of brown and install flush fitting casement windows - 37 High Street, Earith, Huntingdon - 24/00914/S73**

(Councillor S Edwards, Earith Parish Council, addressed the Committee on the application).

See Minute No 16 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

- d) Reconfiguration of, and extension to, existing car park to provide 2 disability parking bays and 14 additional parking bays, widening of existing building perimeter path, installation of new weld wire mesh fence as well as new lamp post and replacement of external wall lighting. - One Leisure, Abbey Road, Ramsey, Huntingdon - 21/02793/FUL**

See Minute No 16 for Members' interests.

that the application be approved subject to conditions to be determined by the Planning Service Manager (Development Management) to include those listed in paragraph 8 of the report now submitted.

17 APPEAL DECISIONS

The Committee received and noted a report by the Planning Service Manager (Development Management), which contained details of eight recent decisions by the Planning Inspectorate. A copy of the report is appended in the Minute Book.

RESOLVED

that the contents of the report be noted.

Chair

DEVELOPMENT MANAGEMENT COMMITTEE 16th September 2024

Case No: 24/01173/S73

Proposal: Variation of Condition 2 (Development in Accordance with Plans for 23/01189/FUL (Retrospective))

Location: 62 High Street, Ramsey, PE26 1AA

Applicant: Mr S Kochhar

Grid Ref: (E) 528759 (N) 285053

Date of Registration: 4th July 2024

Parish: Ramsey

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) in accordance with the Scheme of Delegation as the recommendation of approval is contrary to that of the Town Council.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 62 High Street is a business premises located within the Ramsey Spatial Planning Area and the area defined as Ramsey Town Centre and a Primary Shopping Area under Policies LP7 and LP21 of Huntingdonshire's Local Plan to 2036. The site lies within the Ramsey Conservation Area (CA) and there are a number of Grade II Listed Buildings in the vicinity.
- 1.2 This application seeks retrospective permission for the installation of 1 window and 1 door to the ground floor rear (north-west) elevation and the omission of 2 windows to the ground floor side (south-west) elevation which were not part of the approval under application reference 23/01189/FUL.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives – economic, social and environmental – of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

2.2 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the Government's planning policies for (amongst other things):

- delivering a sufficient supply of homes;
- building a strong, competitive economy;
- achieving well-designed, beautiful and safe places;
- conserving and enhancing the natural, built and historic environment

2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP2: Strategy for Development
- LP7: Spatial Planning Areas
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP34: Heritage Assets and their Settings

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document 2017
- Huntingdonshire Landscape and Townscape SPD (2022)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
- Ramsey Conservation Area Character Assessment (2005)

The National Design Guide (2021)

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- I3 – Create character and identity

Local For full details visit the government website [Local policies](#)

4. RELEVANT PLANNING HISTORY

4.1 23/01189/FUL – Proposed new window openings (one retrospective) replacement doors and replacement flat covering including roof lights. (Approved)

5. CONSULTATIONS

5.1 Ramsey Town Council recommend refusal:

“Ramsey Town Councillors Voted 6 for 4 against 1 abstention to object to this application. The objection is on the grounds of overlooking and loss of privacy. The Councillors objecting also felt that the breach of the original plans was unacceptable.

6. REPRESENTATIONS

6.1 None received at the time of determination.

7. ASSESSMENT

7.1 The Planning Practice Guidance (PPG) notes that there are instances where new issues may arise after planning permission has been granted, which require modification of the approved proposals. It advises where these modifications are fundamental or substantial, a new planning application will be required. Where less substantial changes are proposed a non-material amendment application can be submitted, or a minor material amendment (S73 application) where there are relevant conditions that can be varied. There is no statutory definition within the PPG of a 'minor material amendment' but it states that it is likely to include any amendment where its scale and/or nature results in a development which is not substantially different from the one which has been approved.

7.2 The PPG advises that "Where an application under section 73 is granted, the effect is the issue of a new planning permission, sitting alongside the original permission, which remains intact and unamended. A decision notice describing the new permission should be issued, setting out all of the conditions related to it. To assist with clarity decision notices for the grant of planning permission under section 73 should also repeat the relevant conditions from the original planning permission unless they have already been discharged".

7.3 As a section 73 application cannot be used to vary the time limit for implementation, this condition must remain unchanged from the original consent. All conditions imposed in permission reference 23/01189/FUL will be repeated, apart from those to be varied or which have been discharged.

7.4 Condition 2 of application reference 23/01189/FUL reads: “The development hereby permitted shall be carried out in accordance with the approved plans listed in the table above.”

7.5 The main issues to consider in the determination of this application are:

- The principle of development
- Design and visual amenity
- Impact on heritage assets
- Residential amenity

The principle of the development

7.6 The application site lies within the Ramsey Spatial Planning Area as defined under policy LP7 of the Local Plan. LP7 supports proposals for business development where it is appropriately located within a built-up area of an identified Spatial Planning Area Settlement. In this case, the building is clearly located within a built-up area of the Spatial Planning Area and supports the continued use of the site for business purposes. The development is therefore considered to be acceptable in principle subject to compliance with other relevant policies and considerations.

Design and Visual Amenity

7.7 The approved plans for application reference 23/01189/FUL (amongst other additions) showed two windows in the side (south-west) elevation of the single storey section to the rear and two doors in the rear (north-west) elevation. Under this scheme the two side windows are omitted and an additional door and window has been added to the rear. The design of the doors also appear to have changed in design.

7.8 For the purposes of this assessment it should be acknowledged that by virtue of Schedule 2, Part 7, Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) the applicant would be able to insert these windows and doors (were it not within the Conservation Area) with no prior engagement with the LPA. Therefore, whilst in this case (given the location within the CA), it is not suggested that this is permitted development, this clear 'fallback position' (in design terms) and the fact that it is simply not permitted development due to the requirement for the LPA to assess harm to the designated heritage assets should be given weight when the design matters are discussed in the proceeding sections of this report.

7.9 The proposed additions are located to the rear of the building in an area which has a modern and utilitarian appearance. Given its location to the rear of the large-scale buildings forming the High Street and Great Whyte, it would not be a prominent feature. Many of these buildings have modern additions in terms of windows and do little to enhance the character or appearance of the area. This commercial nature is punctuated by residential

development in the form of access to flat above commercial premises and Hildred Court which has the appearance of an early 1990s housing development. Thus, there is no key theme or pattern of development evident.

- 7.10 Having regard to the above, it is therefore concluded that this minor alteration to the approved scheme which utilises materials which match those which are already in place on the building will not cause visual harm to the character or appearance of the area and therefore accords with Policies LP11 and LP12 of the Huntingdonshire Local Plan to 2036. For the same reasons, the minor amendments to the doors (not part of this application but referenced for completeness) are not considered to be harmful.
- 7.11 Officers note that Ramsey Town Council object on the grounds that the works should have been undertaken in accordance with the approved plans. Whilst the planning permission was granted on the basis it would be carried out in accordance with the approved plans, in the event that the applicant does not accord with conditions imposed (e.g. accordance with approved plans) this may leave them exposed to enforcement action. In this case, whilst there has clearly been a breach of condition, this application is an attempt to seek to regularise the breach. Officers and Members must consider and determine the planning application before them on its planning merits only, and its retrospective nature can have no bearing on the way it is assessed or determined.

Impact on Heritage Assets

- 7.12 As detailed in the preceding sections of this report the site lies within the Ramsey CA and there are a number of Grade II Listed Buildings within (though not immediate adjacent to) the application site. No part of the development subject to this application is visible in context with the Listed Buildings.
- 7.13 Section 72 of the Planning (LBCA) Act 1990 states that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Section 66 of the Planning (LBCA) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Para. 205 of the NPPF sets out that 'When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any

potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.

Para. 206 states that 'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification'

Local Plan policy LP34 aligns with the statutory provisions and NPPF advice.

- 7.14 In this case, whilst the application is not accompanied by a Heritage Statement, as can be established by the assessment in the preceding sections of this report, the addition of one window and door to the rear of the building and the omission of two windows (approved but not implemented) are not harmful to the character or appearance of the area or the wider Conservation Area. The building (especially to the rear) makes a very limited contribution to the Conservation Area and as such it would not be harmed by these minor amendments.
- 7.15 Having regard to the above, it is considered that the development broadly accords with Policy LP34 of the Huntingdonshire Local Plan to 2036, the NPPF (2023) and the Planning (Listed Buildings and Conservation Areas Act) 1990 in this regard.

Residential Amenity

- 7.16 Policy LP14 of the Local Plan to 2036 states that “a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.”
- 7.17 In having regard to the above it is not considered that the amendments given their nature would give rise to overbearing impacts, overshadowing or loss of light. Naturally a key consideration is overlooking and loss of privacy which is the basis of the objection from Ramsey Town Council.
- 7.18 In assessing the above, attention is again drawn to the provisions of the GPDO as a ‘fallback position’ were it not within the CA. The door and window are located at ground floor level adjacent to the earlier approved doors. It is acknowledged that these additions are in close proximity to the dwellings forming Hildred Court. Those to the south-west would not receive direct views from these additions and the omission of the side windows (whilst not harmful given their location at ground floor level and boundary treatment in place) is a betterment in terms of perceived overlooking. Numbers 11 and 12 Hildred Court are

located diagonally from the application site meaning that no direct views would be afforded. A site visit also confirms that there is a tall (assumed 1.8 or 2 metre) close boarded fence forming the south-western boundary and so no views are afforded from this door or window. There is also a boundary wall to the north-west limiting views towards number 14 Hildred Court. In any event, were this wall not in place there is a separation distance of approx. 32 metres between the two properties and the standard for a direct window to window relationship (generally considering first-floor windows and above) is 21 metres.

- 7.19 Further to the above, it should be noted that Hildred Court is something of a thoroughfare (unclear if formally established) with access from High Street, Great Whyte and Mews Close and is located to the north and west of two of the main shopping areas of Ramsey. Therefore, foot traffic is commonplace and views of all ground floor windows of these properties are available to anyone passing as is expected of such locations. Therefore, having regard to the above assessment, the development is considered to be acceptable in terms of residential amenity and accords with Policy LP14 of the Huntingdonshire Local Plan to 2036 in this regard.

8. RECOMMENDATION – APPROVAL subject to conditions to include the following:

- Retention in accordance with approved plans
- Materials retained

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CONTACT OFFICER: Kevin Simpson
Enquiries kevin.simpson@huntingdonshire.gov.uk

From: DevelopmentControl
Sent: 26 July 2024 15:25
To: DevelopmentControl
Subject: Comments for Planning Application 24/01173/S73

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 26/07/2024 3:25 PM from Mrs LISA Renfree.

Application Summary

Address:	Shop 62 High Street Ramsey Huntingdon PE26 1AA
Proposal:	Variation of Condition 2 (Development in Accordance with Plans) for 23/01189/FUL
Case Officer:	[REDACTED]

[Click for further information](#)

Customer Details

Name:	[REDACTED]
Email:	[REDACTED]
Address:	[REDACTED]

Comments Details

Commenter Type:	Town or Parish Council
Stance:	Customer objects to the Planning Application
Reasons for comment:	
Comments:	Ramsey Town Councillors Voted 6 FOR 4 AGAINST 1 ABSTENTION to object to this application. The objection is on the grounds of over looking and loss of privacy. The Councillors objecting also felt that the breach of the original plans was unacceptable.

Kind regards



Location Plan

Site Address: Ramsey Community Arcade And Indoor Market, Shop, 62, High Street, Ramsey, PE26 1AA

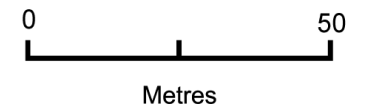
Date Produced: 27-Jun-2023

Scale: 1:1250 @A4

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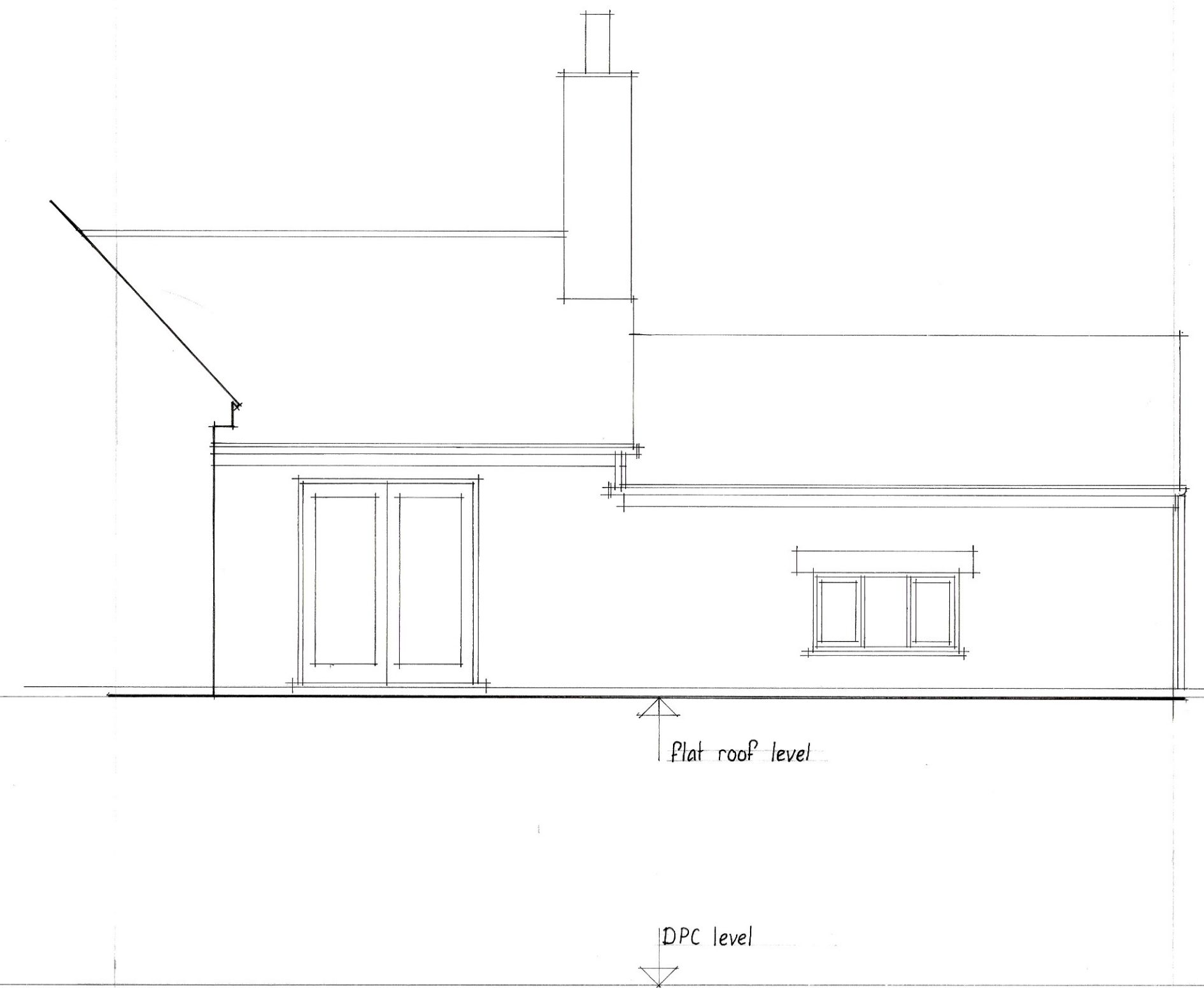
Planning Portal Reference: PP-12256686v1



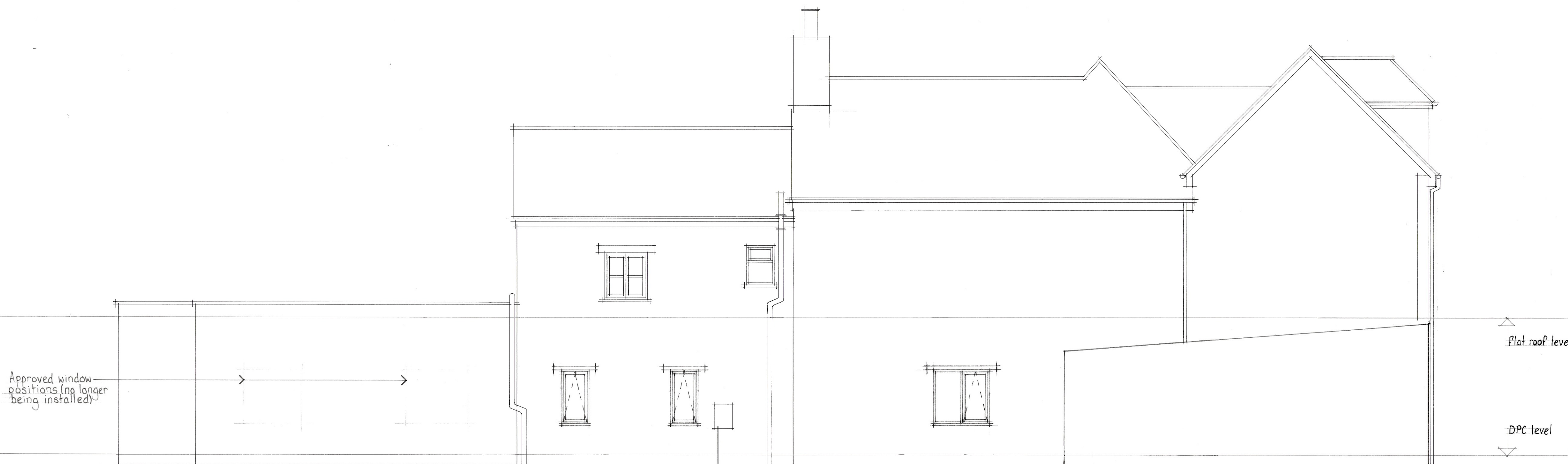
revisions:
 A.27:07:2023 existing window added to N.W. elevation D.H.
 B.03:07:2024 window/door openings added and removed for retrospective R.H.



NORTH WEST ELEVATION AS PROPOSED



NORTH EAST ELEVATION AS PROPOSED



SOUTH WEST ELEVATION AS PROPOSED

David Hartley Associates
 Architectural Design Services

22 High Street
 Stilton
 Peterborough
 PE7 3RA
 Tel 01733 244849
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 Email davidhartleyads@gmail.com
 Website davidhartleyarchitecture.co.uk

client:
 Ramsey Flats Ltd
 62 High Street
 Ramsey
 Huntingdon
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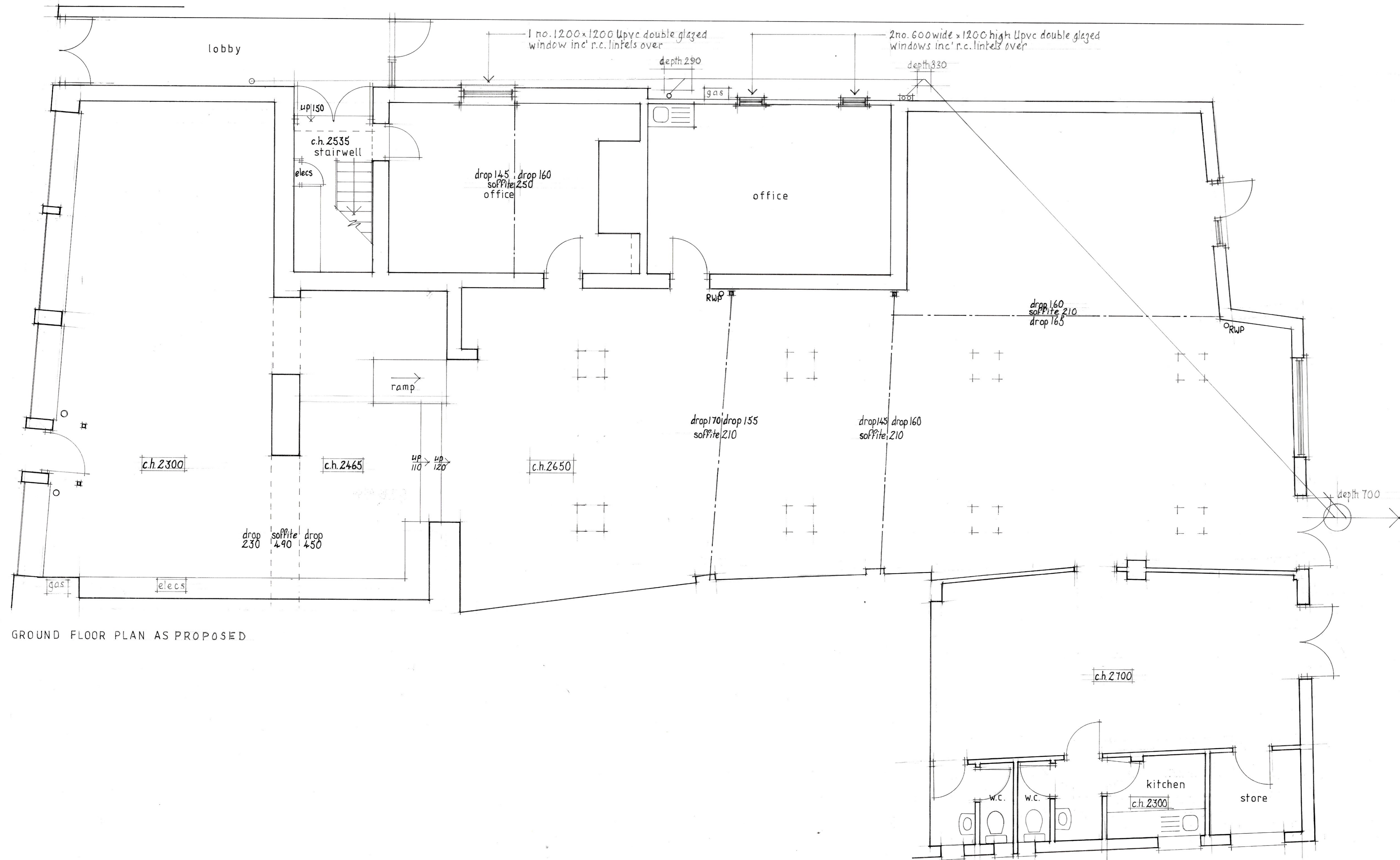
Proposed new window openings, replacement doors & replacement flat roof covering

drawing:

Elevations as proposed

scale: 1/50 @
 date: 20:06:2023
 drawn by: D Hartley
 drawing no.: RFL 62/4B

revisions:
A:03:07:2024 window/door openings added and removed for retrospective P/P



+ + denotes 8no. velux flat roof tunnels, 600x600 ref. TCF 0K14 0062
+ + Note: replace existing flat roof covering in single ply rubber based covering inc all perimeter roof light upstands.

GROUND FLOOR PLAN AS PROPOSED

A2 = 350 m²

David Hartley Associates
Architectural Design Services

22 High Street
Stilton
Peterborough
PE7 3RA
Tel 01733 244849
Mob 07748 154279
Email davidhartleyads@gmail.com
Website davidhartleyarchitecture.co.uk

client:
Ramsey Flats Ltd
62 High Street
Ramsey
Huntingdon
PE26 1AA

Proposed new window openings, replacement doors & replacement flat roof covering
drawing:

Ground floor plan as proposed

scale: 1/50 @ A1
date: 20:06:2023
drawn by: S. Hartley
drawing no.: RFL 62/3A

DEVELOPMENT MANAGEMENT COMMITTEE 16th SEPTEMBER 2024

Case No: 24/00515/HDC

Proposal: REFURBISHMENT AND EXTENSION OF EXISTING COMMUNITY BUILDING AND TOWN COUNCIL OFFICES TO INCLUDE DEMOLITION OF EXISTING SINGLE STOREY EXTENSION AND REPLACEMENT TWO-STOREY EXTENSION WITH SCREENED PLANT AT ROOF LEVEL, FIRST FLOOR EXTENSIONS TO EAST AND WEST ELEVATIONS, GLAZED DORMER WINDOW TO EAST ELEVATION, CREATION OF EXTERNAL RAMPS AND STEPS, CANOPIES OVER ENTRANCES, GLAZED GROUND FLOOR LINK EXTENSION ON WEST ELEVATION, INSTALLATION OF SOLAR PANELS, REPLACEMENT CHIMNEY, NEW BALCONY TO WEST ELEVATION, ALTERATIONS TO BALUSTRADE ON RIVERSIDE AND REPLACEMENT FENESTRATION AND DOORS.

Location: PRIORY CENTRE, PRIORY LANE, ST NEOTS, PE19 2BH

Applicant: HUNTINGDONSHIRE DISTRICT COUNCIL

Grid Ref: 518089 260332

Date of Registration: 2 APRIL 2024

Parish: ST NEOTS

RECOMMENDATION – APPROVE

This application is referred to the Development Management Committee (DMC) as the application has been submitted by the Council for a development on its land.

1. DESCRIPTION OF SITE AND APPLICATION

The site

- 1.1 The application relates to the Priory Centre, an existing community building which provides space for community use and private hire, including weddings and family events, conference activities and local business meetings. It also contains the offices and meeting rooms for St Neots Town Council.
- 1.2 The existing building sits along the edge of the Great River Ouse to the west and is accessible by foot from the Priory Centre car

park to the north, the Priory Lane car park to the east and from the south by foot or vehicle from Priory Lane. The building is prominent in longer distance views from Regatta Meadows to west.

- 1.3 The site lies within the St Neots Conservation Area and there are a number of designated assets within close proximity to the site, including three Listed Buildings (The Maltings – Grade II, Priory House – Grade II and The Priory – Grade II) and 2 Scheduled Monuments (The Malting(kiln) and St Neots Priory). The views of the riverside and views from Regatta Meadows towards this site are important views which are noted in the St Neots Conservation Character statement (October 2006). The cone of the Malting(kiln) scheduled monument and listed building with its landmark shape is prominent in longer distance views across the river meadows from Eaton Socon.
- 1.4 The site is predominantly within Flood Zone 2 on the Environment Agency’s Flood Map for Planning and a section of the site falls within Flood Zone 3b (Functional Flood Plain) in Huntingdonshire’s Strategic Flood Risk Assessment (2017).

The proposal

- 1.5 The application seeks planning permission for the refurbishment and extension of the existing community building and town council offices, including demolition of the existing single storey extension and replacement two storey extension with screened plant at roof level; first floor extensions to the east and west elevations; a glazed dormer window to the east elevation and the addition of external ramps and steps; canopies over entrances; a glazed ground floor link extension on the west elevation; installation of solar panels; replacement chimney; new external balcony on the west elevation; alterations to balustrade on riverside and replacement fenestration and doors.
- 1.6 Section 1.3 of the Design & Access statement sets out the business case behind the proposals:
 - To enhance community use, including increased capacity for performance in the Great Hall and Guest Hall and additional flexible hall space – all modernised and sized to enhance flexibility and the range of use in all spaces.
 - Increased private hire and a boosted performance programme.
 - Additional smaller rooms for small group, social services and meeting use including the potential for an office hub or local business service. All smaller rooms offering flexible use for more than one use including changing and green room facilities.

- An enhanced Bar and Café Bistro offer within the entrance foyer, supporting the venue rooms and open onto the riverside.
 - New welcoming SNTC offices, optimising space use, with room to grow the team within modern methods of working practices.
- 1.7 The justification for the scheme is contained in the submitted Design & Access statement. Section 3.6 of the statement states that the current building runs at a commercial loss of approximately £300,000 per year. The building suffers from poor fabric performance and many systems are at the end of their operational life and need upgrading, including the heating, cooling and ventilation systems. It is proposed to replace these with modern efficient low carbon alternatives.
- 1.8 In terms of existing usage of the building, the building offers large bookable spaces (Great Hall and Guest Hall) which are often booked for facilities which do not require all the available space but there are currently no smaller bookable spaces on offer. Furthermore, as an affordable community venue, bookings for community performances and private bookings often conflict or impact upon wide community use bookings. The problem of capacity is a common challenge for community centres such as the Priory Centre – with profitable or high impact bookings missed or overlooked when lower capacity activities keep a small number of spaces occupied for part of a day, often on long term arrangements.
- 1.9 The proposal looks to improve on and deliver additional bookable rooms/spaces of varying sizes to promote full use throughout the day, week, and year – offering facilities for conference hire, community groups, family events and a wide range of performance. It is proposed to increase the capacity for performance in the Great Hall and Guest Hall, and provide an additional smaller flexible space (New Hall) for family events, community uses and Town Council meetings. Several smaller flexible bookable rooms are also proposed for small group, social services and meeting use as well as changing and green room facilities for performance events. The proposals also look to make the building more accessible and inclusive, for example, provision of level access to the main entrance, external ramps and internal lift system.
- 1.10 Amended plans and documents have been submitted during the lifetime of the application. Re-consultation has taken place accordingly.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment.
- 2.3 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places general duty as respects listed buildings in exercise of planning functions. Paragraph (1) states 'in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority... shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.
- 2.4 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a general duty as respects conservation areas in exercise of planning functions. Paragraph (1) sets out that 'with respect to any buildings or other land in a conservation area... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.'

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP7: Spatial Planning Areas
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement

- LP21: Town Centre Vitality and Viability
 - LP22: Local Services and Community Facilities
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland Hedges and Hedgerows
 - LP34: Heritage Assets and their Settings
 - LP35: Renewable and Low Carbon Energy
- 3.2 St Neots Neighbourhood Plan 2014-2029 (Adopted 24 February 2016)
- Policy A1 – Public Realm
 - Policy A3 – Design
 - Policy PT1 – Sustainable Travel
 - Policy P3 – River Setting
 - Policy P4 – Flooding
- 3.3 St Neots Conservation Area Character Assessment (October 2006)
- 3.4 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document (2017)
 - Developer Contributions SPD (2011)
 - Huntingdonshire Landscape and Townscape Assessment (2022)
 - Cambridgeshire Flood and Water SPD (2017)

For full details visit HDC's website [Local policies](#)

4. PLANNING HISTORY

- 4.1 1401477FUL – Modification to existing boundary wall, construction of the new garden wall, removal of glazed porch and installation of new window – Approved
- 4.2 0906847PDE – Replace wooden double street side doors with metal fire doors – Planning permission required
- 4.3 0602562FUL – Alterations and extension to covered space – Approved
- 4.4 0403238FUL – Erection of two pairs of gates – Approved
- 4.5 0212783ADV – Display of illuminated signs – Consented

5. CONSULTATIONS

- 5.1 St Neot Town Council – No comments.
- 5.2 Environment Agency – No objection but strongly recommend that the mitigation measures detailed in the FRA are adhered to. In particular, the FRA states there will be no loss of floodplain

capacity as a result of the works and finished floor levels will be set at 16.32AOD.

- 5.3 Local Lead Flood Authority – No objection. It appears that the applicant is proposing the demolition of an existing single storey extension and the replacement of a two-storey extension. The proposal does not appear to result in an increase in impermeable area. As per the outline drainage plan, it appears the roof area is reduced from 160m² to 130m² with the roof area proposed to drain to the existing private surface water drain alongside the building. In turn, this will discharge into River Great Ouse replicating the existing scenario. An initial CCTV survey was undertaken. A detailed CCTV is proposed at the later stage. Conditions recommended.
- 5.4 HDC Urban Design – No objection. The amendments to the massing and design of the SNTC offices and dormer window are an improvement from the original submission, address previous comments and are supported in design terms. Suggested conditions – materials, architectural details, hard and soft landscaping, lighting and signage.
- 5.5 HDC Conservation Team – Do not support. The proposals do not preserve the identified listed building and their setting, will harm the significance of the Scheduled Monument The Maltings Kiln, and does not have regard to the preservation and enhancement of the St Neots Conservation Area. The level of harm to each of these individual assets will vary, the greatest level of harm being to the setting of the Maltings Kiln Scheduled monument, Under the terms of the NPPF it is considered to be in the ‘less than substantial category’ but this is not to say that the level of harm is not serious as there is a statutory presumption to avoid all harm. The level of identified harm to these 4 individual heritage assets can only be accepted if it is considered that there are sufficient public benefits flowing from this development to outweigh the harm that will be caused to each of these assets.
- 5.6 Historic England – Object to the application on heritage grounds due to inappropriate development within the St Neots Conservation Area. We consider that the proposals would result in unjustified harm to the character of the Priory Lane part of the St Neots Conservation Area and the significance of the designated heritage assets within it through incongruous changes to the Priory Centre. We are supportive of the principle of the regeneration of the Priory Centre but believe this could be achieved through less visually intrusive design with less harm to the historic environment.

Please note that no further comments have been received from Historic England on the amended plans received 19th August 2024.

- 5.7 HDC Environmental Health – With regard to the “Noise Impact Assessment” undertaken by dBx Acoustics Ltd (report reference 23062-R02B-SW, dated 26 February 2024), if minded to grant permission I suggest the recommendations contained within Chapter 5 and 6 of this report be adhered to.
- 5.8 Highway Authority (Cambridgeshire County Council) – No objection. While the application does not indicate any increase in provision of off-street parking other than in the form of that for cyclists, I note that the site does benefit from existing parking throughout the town centre. With extensive parking restrictions on the surrounding streets, I consider it unlikely that this proposal will have a detrimental impact on highway safety. The Local Planning Authority should however be satisfied that any additional demand for parking associated with the increased use of this site can be accommodated and will not be displaced onto streets further from the town centre where it could be detrimental to local amenity.

The application includes a Lighting Statement which indicates that improved and new exterior lighting will be added. Any lighting associated directly with the structure of the building rather than illumination of access roads or parking areas is unlikely to have any detrimental impact on the public highway.

The application form indicates that new external signage to improve building wayfinding and access will be provided. No objections in this regard providing all such signing is modest in scale, limited to directing rather than advertising and located clear of the highway.

- 5.9 Archaeology Team (Cambridgeshire County Council) – Due to the archaeological potential of the site a further programme of investigation and recording is required in order to provide more information regarding the presence or absence, and condition, of surviving archaeological remains within the development area, and to establish the need for archaeological mitigation of the development as necessary.
- 5.10 Cadent Gas – No objection.
- 5.11 Designing Out Crime Team (Cambridgeshire Constabulary) – The application has been supported with some comprehensive statements, relating to crime reduction, lighting and parking, having read these documents comments and observations have been put forward for consideration (external lighting, security glazing, windows and doors, bicycle parking facilities, landscaping, homelessness).

6. REPRESENTATIONS

- 6.1 1 objection received from Priory House raising the following matters:
- Loss of privacy from the proposed Great Hall Dormer design which is directly opposite a bathroom window and rear garden
 - Impact on listed buildings and conservation area – The historic character of the setting and the qualities derived from its past use make it very distinctive. This is impacted by the proposals made in the planning application, where consideration to the setting has not been made to an appropriate level.

7. ASSESSMENT

- 7.1 The main issues to consider in the determination of this application are:
- Principle of Development
 - Impact on Heritage Assets
 - Design and Visual Amenity
 - Residential Amenity
 - Highway Safety and Parking
 - Flood Risk and Drainage
 - Biodiversity

Principle of Development

- 7.2 The application site is located in the St Neots Spatial Planning Area. Policy LP7 of Huntingdonshire's Local Plan to 2036 states a proposal for development on a site which is additional to those allocated in this plan will be supported where it fulfils the policy requirements and is in accordance with other policies.
- 7.3 The proposal is for the extension and refurbishment of an existing community building and St Neots Town Council office. The use of the building would remain in Use Class F2(b) – Halls or meeting places for the principal use of the local community as per the Town and Country Planning (Use Classes) Order 1987 (as amended). As such, it is not considered there would be any conflict with the provisions of Policy LP7.
- 7.4 Policy LP22 of the Local Plan seeks to support local facilities and services to provide for the needs of the local community, which includes public/community halls. Policy LP22 states that a proposal for a new local service or community facility within a built-up area, or the extension of an existing local service or community facility on land immediately adjoining the built-up area, will be supported where it:
- a. is of a scale to serve local needs;
 - b. comprises up to a maximum of 600m² net internal floorspace for a main town centre use; and

- c. provides for a new service or facility or it retains or enhances an existing service or facility, including through the provision of premises suitable for mixed use or multiple community functions.
- 7.5 The proposal looks to retain and enhance an existing community facility which is located within the built-up area. The resultant building would include a main hall with stage and changing rooms, 2 smaller halls (Guest Hall and New Hall) and several smaller bookable meeting rooms, a foyer with open workspace and café/bar and offices for St Neots Town Council. It is considered that the above would enable the building to better serve the needs of the community and would facilitate a range of community functions.
- 7.6 The principle of development is therefore supported by Policies LP7 and LP22 of the Local Plan, subject to all other material considerations below.

Design and Visual Amenity

- 7.7 Policies LP11 and LP12 of the Huntingdonshire Local Plan to 2036 state that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity. Policy A3 of the adopted Neighbourhood Plan states that all development must be designed to a high quality that reinforces local distinctiveness.
- 7.8 Amended plans have been received and reconsulted on during the course of the application. These have sought to address initial concerns from officers relating to the massing and treatment of the two storey extension to the north end of the building, including the height of the parapet and the arrangement and treatment of the roof plant, and the design of the proposed dormer window on the east elevation.

Demolition of single storey extension and replacement two storey extension

- 7.9 The proposal involves the demolition of the existing single storey St Neots Town Council offices to the north end of the Priory Centre building. The replacement two storey extension would be sited in a similar location however it would have a reduced footprint (130m²) compared to the existing extension (160m²) increasing the size of the river terrace space. The proposed extension would create a New Hall at ground floor with external doors onto the river terrace and an external ramp to the side of the extension and the first floor of the extension would comprise St Neots Town Council offices. There would be internal access to the existing Priory Centre building at ground and first floor.

- 7.10 The amendments to the scheme retain the two-storey height of the extension and roof top plant (with justification for the office accommodation and area of external plant set out in section 3.6 of the Design and Access Statement), however the overall height of the extension has been reduced by 190mm (from 26040mm to 25850mm). The octagonal acoustic louvered plant enclosure is setback a minimum of 1 metre from the edge of the building (with a greater setback at the corners of the octagonal plant) and would protrude approximately 1.9 metres above the parapet wall. It is considered that the setback of the plant enclosure, together with the octagonal form, creates a clear break between the brick parapet and setback plant enclosure which reduces the prominence of the plant and the perceived height and massing of the two-storey extension and improves the relationship with boathouse to the north.
- 7.11 The proposed external materials of the extension have been revised from the previously proposed painted/stained timber cladding to red facing brickwork in stretcher bond. The Urban Design Officer has recommended a lighter coloured plain red brick to form a subtle contrast with the Priory Centre. The proposed parapet of the extension comprises Flemish bond brickwork with two rows of 3 courses of corbelled projecting brickwork above the first-floor windows which reflect the eaves level and corbelled brickwork on the existing Priory Centre. Above this, areas of 'recessed/ projecting/omitted header and alternate brick choice headers' would break up the height of the raised parapet wall and add interest. Panels of recessed red hit and miss brickwork in Flemish bond are proposed adjacent to the first-floor windows to provide natural ventilation to the office spaces. Furthermore, it would visually increase the width of the perceived window openings creating a horizontal emphasis, breaking up areas of blank brickwork and creating a consistent width between brick piers across the first-floor level. The north side elevation includes large tax windows to resemble window openings with hit and miss brick panels adjacent which would break up this blank elevation. A red brick Flemish bond brickwork is proposed for the link element between the proposed extension and the existing building which would create a clear break between the extension and the Priory Centre.
- 7.12 The proposed scale, massing, design and treatment of the proposed two storey extension is supported by the Urban Design Officer in design terms, subject to conditions requiring the facing brick and detailing of the proposed extension and the treatment of the plant enclosure.

Dormer windows

- 7.13 The proposals include the removal of 6 smaller gable fronted dormer windows (2 on the eastern elevation and 4 on the western elevation) and the introduction of a large full height box

dormer window to the Great Hall on the east elevation. The design rationale for the proposed dormer is to create visual draw to the Priory Centre from the Market Square. Concerns were initially raised by officers regarding the height, bulk and design of the proposed dormer window. The proposed dormer window has since been reduced in height and sits approximately 2.4m below the ridge height of the Priory Centre. The width of the dormer window has been designed to reflect the width of the ground floor entrance and align with the external face of the building. It is considered that the amendments significantly reduce the bulk and massing of the proposed dormer.

First floor extensions

- 7.14 The proposal also includes a first floor extension to the west elevation overlooking the river which would create two small bookable rooms off the Main Hall internal balcony. A first floor extension on the main (east) elevation would create another 2 bookable rooms, green room and cash register office. The proposed first floor extensions would have a flat roof design in line with the existing eaves of the building and this would complement the flat roof of the two-storey extension to the north. The proposed external material is standing seam metal cladding and it is recommended that the detail, material and finish is secured by way of condition.

Other external alterations

- 7.15 Other external alterations to the building include a new chimney/extract stack on the east elevation, new and replacement aluminium frame windows and doors on all elevations, a first floor balcony to the west elevation off the Guest Hall, new balustrade along the river terrace and a section of PV panel on the west roof slope. It is not considered these elements of the scheme would have a harmful impact on the character and appearance of the existing building. Limited details of hard and soft landscaping have been provided at this stage and it is therefore recommended that these details, including any planting, hard surfaces and boundary treatment, be secured by condition.

Summary

- 7.16 The existing building is a large structure of limited architectural merit and the proposed contemporary extensions and alterations to the building would create a contrast with the surrounding historic context without appearing unduly prominent. The proposals would enhance the functionality of the community building and incorporate sustainable design and construction methods. The Urban Design Officer has raised no objection to the development, however conditions have been recommended to obtain further details of materials, treatments and finishes. It is

considered that this would ensure a high quality finish to the proposals and on balance it accords with Policies LP11 and LP12 of the Local Plan and Policy A3 of the adopted Neighbourhood Plan in terms of design and visual amenity.

Impact on Heritage Assets

7.17 Policy LP34 of the Local Plan to 2036 sets out that proposals should protect the significance of heritage assets and reflects the statutory protections afforded to heritage assets and their management through the National Planning Policy Framework 2023.

Significance

7.18 The application relates to The Priory Centre, a late 20th Century building located on the historic waterfront in St Neots. It lies within the St Neots Conservation Area and close to several designated heritage assets. The scheduled monument 'The Malting (kiln)' is located 20 metres to the east of the north end of the Priory Centre. The kiln functioned as an oast house associated with a brewery which operated on the site in the 19th century. The former brewery building in which the scheduled monument kiln is located is the Grade II listed 'Malthouse behind the Priory Club'.

7.19 There are two other Grade II listed buildings located close to the southern end of the application site: Priory House and The Priory. Both are brick-built houses within tiled roofs dating from the early 19th and mid-18th centuries respectively. They are located at the western end of the site of St Neots Priory, the below ground remains of which are designated as a scheduled monument.

7.20 The St Neots Conservation Area Character Assessment (October 2006) identifies the industrial heritage of the Priory Lane and Riverside area including its former maltings and breweries. It highlights the scale and mass of the buildings and their subdued materials palette as important considerations for the area.

7.21 The present building is a modern interpretation of the historic structures that once occupied the site being simple in structure and form, and the building is stepped down to its northern edge to allow the cone of the Malting(kiln) scheduled monument to be visually prominent. The existing building is constructed from brick with a regular pattern of small openings. Whilst it is a large building, the restrained nature of the elevational treatment is such that it is viewed as a foil for other adjacent historic buildings which allows them to be more prominent. The simplicity and prominence of the uninterrupted roof line results in a strong silhouette on the skyline. Furthermore, the views of the riverside

and looking back across the meadows towards this site are considered to be important memorable views which are noted in the Conservation Character Statement. The cone of the Oast House with its landmark shape is prominent in longer distance views across the river meadows from Eaton Socon.

Justification of the proposal

- 7.22 Section 3.6 of the Design & Access statement seeks to justify the proposal, in particular the two-storey extension to the north end of the building including the requirement for plant at roof level. The proposed extension would create a New Hall at ground floor and replacement offices for St Neots Town Council at first floor. The New Hall is designed to accommodate Town Council functions, including planning committees as well as a space for family and community events with access to the river terrace, use of the café servery and a more affordable option than the larger Great Hall and Guest Hall. Various options appear to have been explored including alternative location of the St Neots Town Council offices, not providing the New Hall and fewer smaller bookable rooms however this would impact on the proposed flexibility, turnover and the ability to provide a range of cost points, including free for community service spaces.
- 7.23 The project involves significant plant replacement within the existing building, including to the Great Hall and Guest Hall. The existing loft area of the building is already taken up by existing plant and therefore an additional plant area is required for the new systems including Air Source Heat Pumps (ASHP). This particular plant needs to be in the open air and well-ventilated so it cannot be enclosed within the building. Alternative siting has been explored including the river terrace and service yard. The former would result in loss of riverside amenity area and the latter would impact vehicle movements, deliveries and pedestrian access – both options would be to the detriment of the community use of the building. To screen the proposed plant, it has been enclosed behind acoustic louvres which also serves to protect adjacent residential properties from noise associated with the plant.
- 7.24 Officers are satisfied that the design and rationale of the development has been adequately justified, it therefore falls to be assessed whether the proposal would harm the significance of designated heritage assets.

Impact of the proposal

- 7.25 As set out in the previous section of the report, the height of the proposed two storey extension to the north end of the building has been reduced in height, the roof plant has been stepped in from the edge of the building and partially concealed behind a parapet. The Conservation Officer has acknowledged these

improvements to the appearance of the building, however it is considered that fundamentally the scale, form and massing of the proposed extension would sit uncomfortably in the street/river scene. It would detract from the Malting(kiln) scheduled monument and the Grade II listed Malthouse as the only remaining legacy of the industrial development heritage of the site and its relationship to the river. The existing views make a positive contribution to the significance of the Conservation Area. The proposed extension would partially block certain views of the Malting(kiln) cone which would impact the prominence of this historic landmark feature from across the river. It has been demonstrated in Section 4 (Views Study) in the submitted Heritage Statement that the top of the cone would still be visible in views east from Regatta Meadow to above and to the side of the proposed extension. Notwithstanding this, it is considered that the setting of the scheduled monument, the Grade II listed Malthouse and the character and appearance of the wider Conservation Area would be harmed by this aspect of the proposal. A scheduled monument is considered under the NPPF 2023 to be a designated heritage asset of very high significance, as such the harm to the scheduled monument is afforded even greater weight.

- 7.26 The proposed dormer window on the east elevation has been reduced in size and height however it would remain a strong vertical feature within the street scene giving prominence to the Main Hall entrance doors below. It is considered that the scale and massing of the dormer would detract from the proportions and scale of Grade II listed Priory House in views along Priory Lane. The proposed new chimney/extract stack on the eastern roof slope is required as part of the Heating and Ventilation strategy. Due to its siting and dimensions, it would project above the ridge line of the building and appear dominant in certain views of the Malting(kiln) cone and the skyline. Furthermore, the proposed flat roof first floor extension to the Priory Lane frontage would increase the prominence of the building in the street scene and result in slight harm to the appearance of the Conservation Area.
- 7.27 It is considered the first-floor flat roofed extensions to the river frontage would have neutral impact as they would be viewed against the backdrop of the existing building, however the proposed solar panels would be prominent in views from the river meadows and detract from the simple design of the roof.
- 7.28 Overall, it is considered that the proposed changes on the Priory Lane elevation of the building, notably the proposed dormer window, first-floor extension and two storey side extension at the northern end of the building, would be harmful to the character and appearance of the St Neots Conservation Area. Furthermore, the development on the Priory Lane frontage would also detract from the setting and the experience of the Grade II

listed Priory House. It is considered that there would be harm caused to the Grade II listed Malthouse and the Maltings(kiln) scheduled monument as the proposed two storey extension would obscure views of the cone which is local landmark best seen in long distance views across the meadows.

- 7.29 HDC's Conservation Officer has raised an objection to the proposed development on the grounds set out above. Furthermore, Historic England have raised an objection to the unjustified harm to the character of the Priory Lane part of the St Neots Conservation Area and the significance of the designated heritage assets within it. It is however noted that no further comments have been received from Historic England on the amended plans received 19th August 2024. Notwithstanding this, Officers agree with the specialist heritage advice received and it is concluded that the harm to the significance of heritage assets from the proposed development would be less than substantial. The proposal would therefore conflict with the aims of Policy LP34 and the NPPF 2023.
- 7.30 Paragraph 208 of the NPPF 2023 requires where there would be less than substantial harm, for it to be balanced against the public benefits of the scheme. The balancing exercise has been carried out at the end of this report.

Archaeology

- 7.31 Policy LP34 of the Local Plan states that great weight and importance should be given to the conservation of heritage assets, including archaeology.
- 7.32 The Historic Environment Team at Cambridgeshire County Council have been consulted and they have indicated the proposed development area has archaeological potential. It is therefore recommended that the site should be subject to a programme of archaeological investigation secured through the inclusion of a condition. Subject to this, the proposal would comply with Policy LP34 of the Local Plan in this regard.

Residential Amenity

- 7.33 Policy LP14 of the Local Plan states that a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings. Furthermore, the NPPF 2023 states planning decisions should ensure that developments achieve a high standard of amenity for existing users (Paragraph 135) and mitigate and reduce to a minimum potential adverse impacts resulting from noise from new development (Paragraph 191).

- 7.34 The nearest residential properties are Priory House to the east and 2 Priory Court to the south of the site. An objection was received from the occupant of Priory House regarding loss of privacy during the first round of consultations, however no further comments have been received following re-consultation on the amended plans. It is considered that the key issues to considered are potential loss of privacy and overlooking, and the noise impacts of the development.

Privacy and overlooking

- 7.35 The proposal includes the introduction of a full height box dormer window to the Great Hall on the east elevation. The proposed first floor plan (295_GA_120 Rev P2) shows a first-floor mezzanine/balcony within the Great Hall. With the first iteration of the scheme, there was concern the first floor viewing area would result in overlooking impacts and loss of privacy to the rear garden of Priory House located approximately 13m to the east and the first floor bathroom window on the property. The proposed elevation drawing (295_GA_141 P2) now indicates the first-floor balcony window would have 'internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking' (labelled E5). It is recommended that a condition be imposed to obtain details of the treatment and height of the internal timber screening which should extend a minimum 1.7m above the first floor finished floor level and be retained in perpetuity in order to prevent overlooking and loss of privacy to the occupants of Priory House. Similar screening is proposed for the south facing corner window to the Bookable Room G1.13 shown on the proposed first floor plan (295_GA_120 Rev P2). Details of this should also be secured by way of condition.

Noise

- 7.36 The application is accompanied by a Noise Impact Assessment dBx Acoustics Ltd (reference 23062-R02B-SW). This report presents the results of an environmental noise survey carried out at the site and provides guidance on the acoustic requirements for the external envelope, glazing and ventilation of the building. Potential sources of noise which could impact on neighbouring amenity relate to the use of amplified speech or music in the Great Hall, Guest Hall and New Hall as well as the proposed plant. Recommendations within the Noise Impact Assessment include limiting internal noise levels and acoustic upgrades to the Great Hall building envelope. Mitigation has also been recommended in the form of duct silencers and acoustic plant louvres such that all plant in operation does not exceed the typical background noise level at existing commercial receptors (Library, Oast House), and is more than 10dB below the typical background noise level at the residential receptors. This has been reviewed by HDC's Environmental Health Officer and no objection has been raised, however a condition is recommended

should Members be minded to approve the application to ensure the recommendations contained within Chapter 5 and 6 of the Noise Impact Assessment are adhered to. It is acknowledged that the increased capacity of the building would result in additional comings and goings, however this would not be so significant compared to the existing use of the building that there would be a material adverse impact on neighbour residential properties. Lastly, given the proximity to residential properties, it is recommended that a condition be imposed to control construction and demolition hours and associated collections/deliveries to the site.

Summary

- 7.37 Overall, subject to the conditions recommended above, it is not considered the proposed development would have unacceptable detrimental impact on nearby properties and therefore the proposal accords with Policy LP14 of the Local Plan.

Highway Safety and Parking

- 7.38 Policy LP16 of the Local Plan looks to ensure that developers fully consider how the opportunities and impacts of the range of travel and transport modes are addressed in their proposals. Policy LP17 of the Local Plan sets out that a proposal will be supported where it incorporates appropriate space for vehicle movements, facilitates accessibility for service and emergency vehicles and incorporates adequate parking for vehicles and cycles.
- 7.39 The application is supported by a Transport Statement and Parking Provision Statement produced by the applicant's agent (AOC) dated February 2024.
- 7.40 The site is located in the centre of St Neots and is accessible by foot, cycle and public transport. There are also several public car parks within the vicinity of the site including St Anselm Place Priory Car Park, Priory Lane Car Park, Tan Yard Car Park and Waitrose Car Park which cumulatively have a capacity of 288 spaces as set out in the applicant's Parking Provision Statement. The proposal looks to increase the floor area of the building by approximately 400m², however it is understood that this would not significantly increase the building capacity beyond its current designed capacity. For instance, the existing Great Hall has a standing capacity of approximately 650 and theatrical sit-down performances hold an audience of approximately 370 and the proposed reconfiguration and extension of the building would raise the capacity of the Great Hall to 430 for seated performances. It is considered that any additional demand for car parking associated with the proposals could be satisfactorily accommodated within existing public car parks in close proximity to the site and it would not displace parking onto streets further

from the town centre. Furthermore, the Highway Authority has raised no objection. With extensive parking restrictions on the surrounding streets, it is considered unlikely that the proposal would have a detrimental impact on highway safety.

- 7.41 The Highway Authority has raised no in principle objection the applicant's Lighting Statement provided and it is not considered that the provision of external lighting to the building would have adverse highway safety impacts. The applicant has confirmed that no signage or lighting would be sited on the highway. Notwithstanding this, it is recommended that a detailed lighting scheme be secured by way of condition and an informative should be added to any decision to advise the applicant that a separate advertisement consent is likely to be required.
- 7.42 With the above, the proposal is considered acceptable in terms of its impact on highway safety and accords with Policy LP17 of Huntingdonshire's Local Plan to 2036 and Policy PT1 of the Neighbourhood Plan.

Flood Risk and Drainage

- 7.43 Policy LP5 of the Local Plan sets out that a proposal will only be supported where all forms of flood risk have been addressed. Furthermore, Policies LP6 and LP15 set out the Council's approach to wastewater and surface water management.
- 7.44 The site is predominantly within Flood Zone 2 on the Environment Agency's Flood Map for Planning and a section of the site falls within Flood Zone 3b (Functional Flood Plain) in Huntingdonshire's Strategic Flood Risk Assessment (2017). A Flood Risk Assessment (FRA) and Drainage Strategy has been submitted with the application.
- 7.45 The existing Priory Centre building covers the majority of the site, with the remaining areas consisting of hardstanding areas. The proposal includes a replacement extension to the north end of the building and infill extensions on the front and rear elevation. Paragraph 174 of the NPPF 2023 sets out that minor development including small non-residential extensions (with a footprint of less than 250m²) should not be subject to the sequential or exception tests. The proposal is considered to be minor development and therefore the sequential and exception tests are not required in this instance.
- 7.46 In accordance with paragraph 173 of the NPPF 2023, development should only be allowed in areas at risk of flooding where it can be demonstrated that flood risk is not increased elsewhere. The submitted FRA demonstrates that there would be no loss of flood storage capacity for the lifetime of the development and even increases the flood storage volume in the 100-year return period due to the reduced footprint of the

replacement extension to the north end of the building. The Environment Agency have raised no objection on this basis as well as the finished floor levels being set at 16.32mAOD. A condition is recommended to ensure compliance with the FRA mitigation measures. The FRA also recommends flood resilience and resistance measures which could be incorporated into the building design and it is recommended that final details of these measures should be secured by way of condition. Similarly, it is recommended that a detailed flood evacuation plan as recommended in section 6.2 of the FRA is conditioned.

- 7.47 In terms of surface water drainage, the existing arrangements are to be reused whereby surface water drainage that runs along the eastern and northern boundaries discharges to the River Great Ouse. The proposed roof area of the two storey extension would be served by traditional downpipes which would drain to the existing surface water drain. There will be no increase in surface water run-off flows as a result of the development. The Local Lead Flood Authority (LLFA) has removed their initial objection on this basis and therefore the proposed approach to surface water drainage is considered acceptable, subject to conditions requiring the detailed drainage design and details of drainage during the construction phase as recommended by the LLFA.
- 7.48 Subject to the conditions outlined above, the proposed development is considered to be acceptable in terms of flood risk and drainage meeting the aims and objectives of Policies LP5, LP6 and LP15 of Huntingdonshire's Local Plan and the NPPF 2023.

Biodiversity

- 7.49 Policy LP30 of the Local Plan requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity have been investigated and ensure no net loss in biodiversity and provide a net gain where possible. Paragraph 180 of the NPPF (2023) states planning decisions should contribute to and enhance the natural and local environment.
- 7.50 The application is supported by a Preliminary Ecological Appraisal (reference A1128.003) prepared by Crossman Associates. The building is in an urban area and surrounded by hardstanding, however it is adjacent to the River Great Ouse to the west. The PEA concludes that there are no significant features suitable for roosting bats and the proposals are unlikely to affect any other protected species. Recommendations and precautionary measures have been put forward in Section 4 of the PEA which include a precautionary approach to be taken in relation to bats, sensitive clearance of vegetation with regard to birds, install bird boxes on the exterior of the new development and reduced external lighting to benefit nocturnal wildlife. It is

also recommended that a Construction Ecological Management Plan be produced, particularly as the site lies adjacent to the river in interests of avoiding watercourse contamination during the construction phase.

- 7.51 Subject to conditions identified above, as well as a condition requiring details of soft landscaping, it is considered the proposal would protect and enhance ecological features and therefore accords with Policy LP30 of the Local Plan.

Conclusion and Planning Balance

- 7.52 In accordance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, all planning applications should be determined in accordance with the development plan unless material considerations indicate otherwise.

- 7.53 The proposal is for the refurbishment and extension of The Priory Centre which is an existing community building and St Neots Town Council offices. The principle of development is supported by Policies LP7 and LP22 of the Local Plan.

- 7.54 By virtue of the design, scale and massing of the proposals, notably the proposed dormer window and first-floor flat roof extension on the east elevation and two storey side extension at the northern end of the building, it is considered that the proposals would result in harm to the character and appearance of the Priory Lane part of the St Neots Conservation Area and the significance of the designated heritage assets within it, including a scheduled monument and listed buildings. The harm to the significance of heritage assets from the proposed development would be less than substantial, as such there would be conflict with the aims of Policy LP34 and the NPPF 2023. The proposal would therefore result in both environmental harm to the historic environment, and social harm through its impacts on people's experience and views of cone of the Malthouse(kiln) from Regatta Meadows. In accordance with, paragraph 208 of the NPPF 2023, where there would be less than substantial harm to heritage assets, there is a requirement for this to be balanced against the public benefits of the scheme.

- 7.55 The justification for the proposed development has been set out in the submitted Design & Access statement. The building currently runs at a commercial loss, poor fabric performance and many systems require replacement/upgrading. It is acknowledged that the interior of the building is somewhat dated

and is in need of alteration and refurbishment to bring it up to modern standards. The proposal looks to improve on and deliver additional bookable rooms/spaces of varying sizes for flexible use, including community events/groups, conference hire, family events (weddings and parties) and a wide range of performance (theatre, music and comedy). The Design & Access statements sets out that having a healthy range of smaller and larger spaces has proved vital in the successful operations of other community facilities. It is therefore considered that the continued and enhanced community use of the building is a public benefit which can be attributed significant weight. This would support the social objective of the NPPF 2023 which looks to support communities' health, social and cultural well-being (paragraph 8).

7.56 Furthermore, the proposal incorporates low carbon energy solutions, including air source heat pumps and solar panels which is considered to be an environmental benefit of the scheme which can be given moderate weight.

7.57 Lastly, there would be economic benefit of the development process itself, including sourcing of materials and construction jobs and it would retain existing employment associated with the centre which can be given moderate weight.

7.58 As set out earlier within the report, several conditions are recommended to secure samples of materials, architectural details and other finishes which would ensure that the development achieves a high-quality finish.

7.59 It should be noted that not all proposed developments are entirely without harm or entirely without benefit. Therefore, in reaching a recommendation on the application, the potential harm of the development has been considered against the benefits of the proposed development. As set out above, different weight has been given to each material consideration to form the overall planning balance. Accordingly, the cumulative benefits of the proposed development would be of sufficient magnitude to outweigh the less than substantial harm found to designated heritage assets. Having regard to all relevant material considerations, it is therefore recommended that planning permission be granted.

8. RECOMMENDATION – APPROVAL subject to conditions to include the following:

- Time limit

- Approved plans
- Materials samples
- Architectural Details
- Hard and soft landscaping
- Details of PV panels
- Details of balustrades/gates
- Details of internal window screening
- Archaeology
- Compliance with Noise Impact Assessment
- External lighting scheme
- Compliance with FRA
- Flood resistance and reliance measures
- Flood evacuation plan
- Surface water drainage design
- Details of drainage during construction
- Construction hours
- Delivery hours during construction

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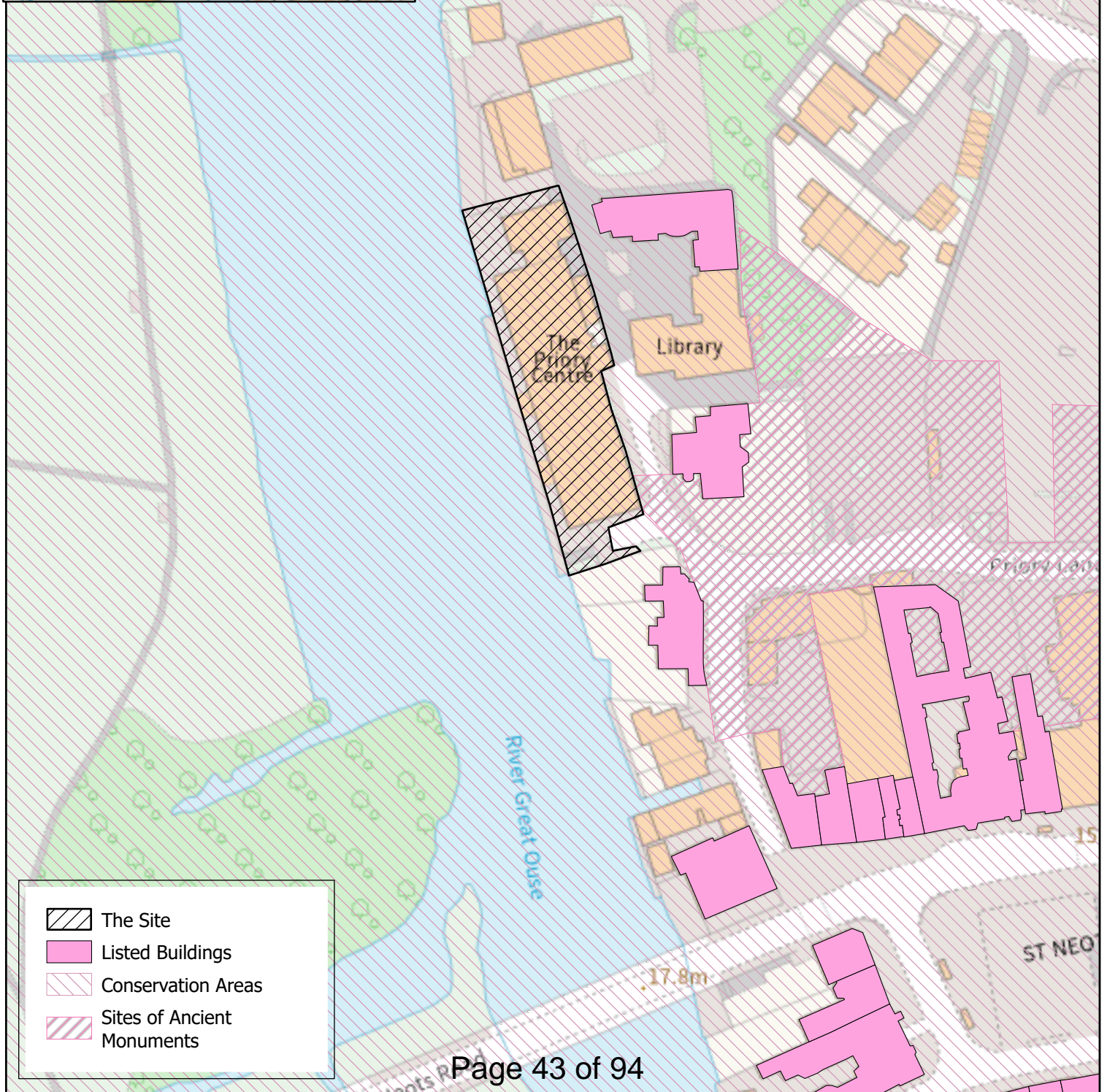
CONTACT OFFICER: Lucy Pateman (Senior Development Management Officer) – lucy.pateman@huntingdonshire.gov.uk

SNTC planning responses – 23 April 2024

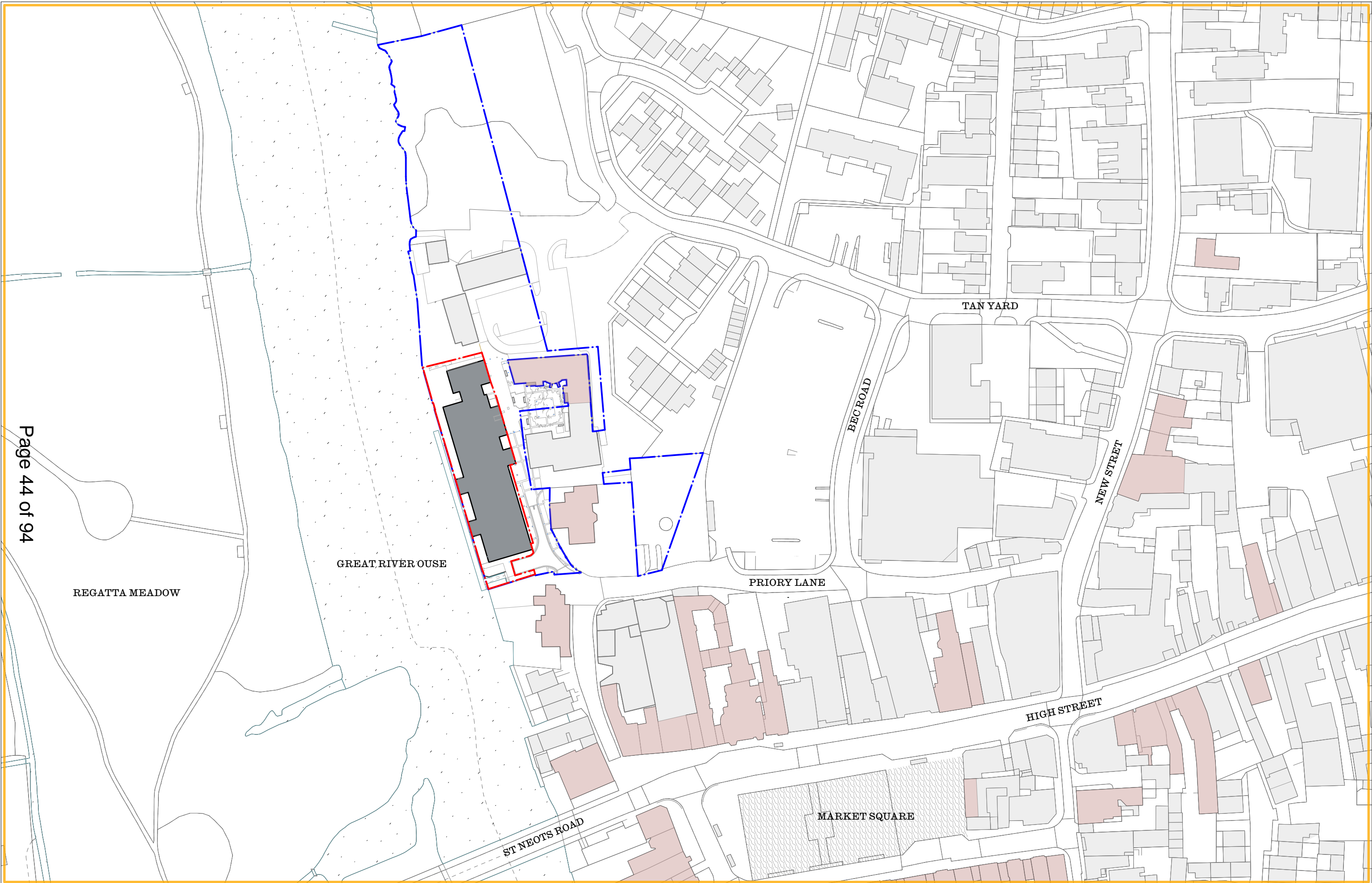
No.	Reference	Development	SNTC Decision	Notes
The following application/s are for listed building consent				
█	█	█	█	█
█	█	█	SUPPORT	Technical exercise and should be subject to the Conservation Officers approval
The following application/s are in a conservation area				
S3	24/00515/HDC	<p>█</p> <p>Priory Centre Priory Lane St Neots</p> <p>Refurbishment and extension of existing community building and town council offices to include demolition of existing single storey extension and replacement two-storey extension with screened plant at roof level, first floor extensions to east and west elevations, glazed dormer window to east elevation, creation of external ramps and steps, canopies over entrances, glazed ground floor link extension on west elevation, installation of solar panels, replacement chimney, new balcony to west elevation, alterations to balustrade on riverside and replacement fenestration and doors.</p>	NOTED	Members noted the application.
█	█	█	█	█
█	█	█	█	█

No.	Reference	Development	SNTC Decision	Notes
All other applications				
█	█	█	█	█
█	█	█	█	█
█	█	█	█	█
█	█	█	█	█
█	█	█	█	█
█	█	█	█	█

Chairperson



	The Site
	Listed Buildings
	Conservation Areas
	Sites of Ancient Monuments



NOTES

- Ownership Boundary
- Site Boundary
- The Priory Centre
- St Neots Conservation Area
- Surrounding Buildings
- Listed Buildings
- Great River Ouse
- Market Square

P2	Planning	AM	TC	16.08.24					
P1	Planning	AM	TC	12.03.24					
D	Stage 3 Coordination	EO	TC	08.01.24					
C	Stage 2 Report Issue	AM	TC	19.10.23					
B	Stage 2 Issue	AM	TC	09.10.23					
A	Stage 1 Issue	AM	HS	01.08.23					
No.	Revision / Issue	Drawn by	Checked by	Date	No.	Revision / Issue	Drawn by	Checked by	Date

Project Title
295 St Neots Priory Centre
 Priory Lane, Saint Neots, PE19 2BH

Drawing Name EXISTING Location Plan
 Drawing Status PLANNING
 Scale 1:1250 @ A3
 Drawing No. 295_GA_010
 Rev. P2

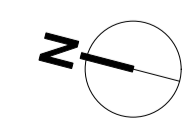
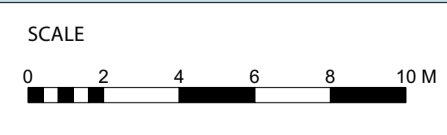


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A 3170
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C 5400
D 5400
E 3335
F

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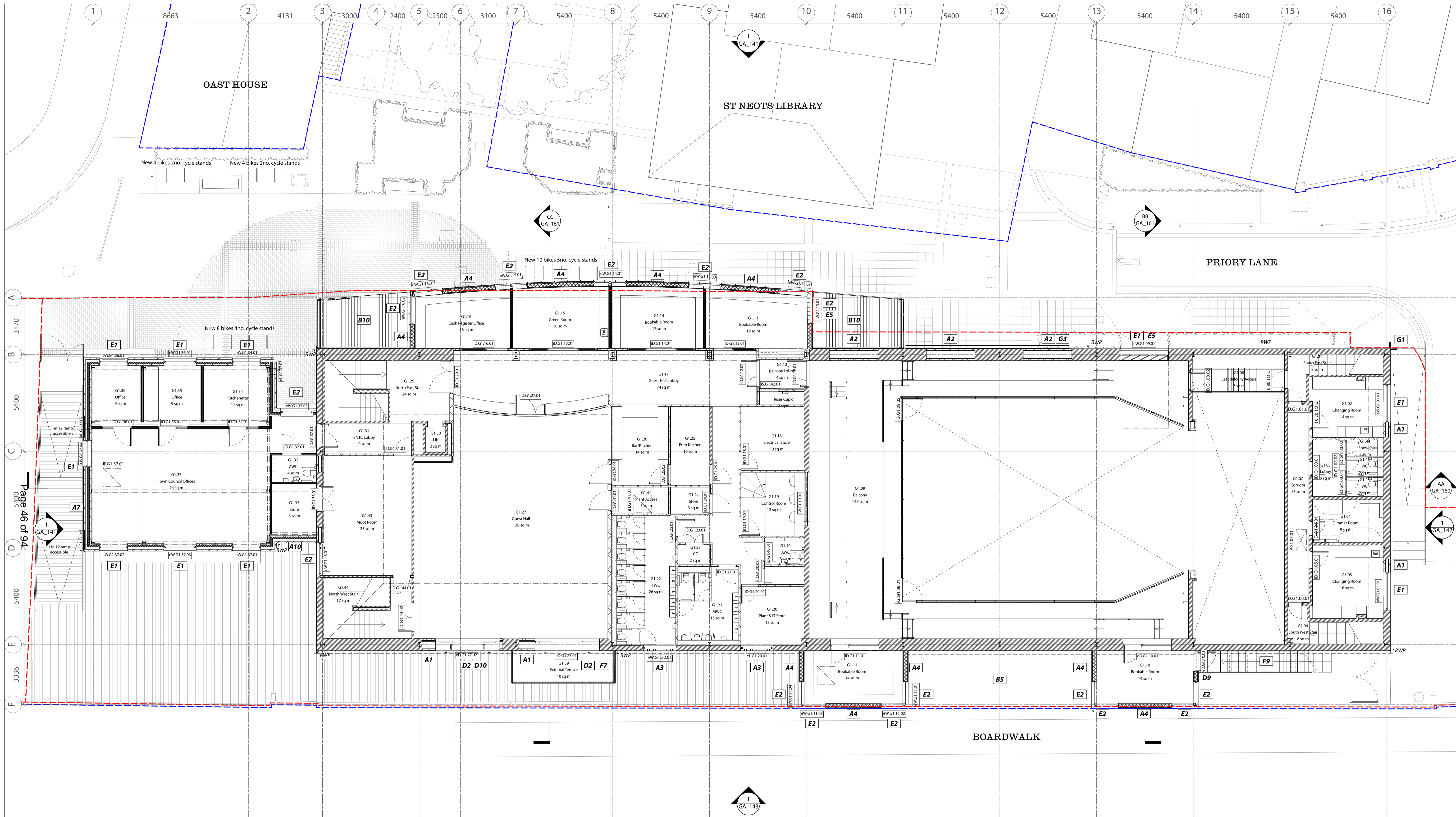
NOTES
- - - ownership boundary
- - - site boundary

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No.	Revision / Issue	Drawn by	Checked by	Date	No.	Revision / Issue	Drawn by	Checked by	Date
P2	Planning	AM	TC	16.08.24					
P1	Planning	AM	TC	12.03.24					

Project Title
295 St Neots Priory Centre
Priory Lane, Saint Neots, PE19 2BH

Drawing Name PROPOSED Site Plan
Drawing Status PLANNING
Scale 1:200 @ A1 / 1:400 @ A3
Drawing No. 295_GA_111
Rev. P2



- A. EXTERNAL WALL FINISH**
 A1. Existing masonry brick wall, stretcher bond, making good where required to match
 A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned
 A3. Red brick hit and miss brickwork, Flemish bond, screening to natural ventilation, recessed 35 mm. Brick choice to be conditioned
 A4. Standing seam metal cladding. Detail, material and finish to be conditioned.
 A5. Painted external timber cladding - 140mm. Colour and finish to be conditioned.
 A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.
 A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned
 A8. Red brick new masonry brick wall, stretcher bond half lap. Recessed 35 mm. Brick choice to be conditioned
 A9. Precast concrete cill. Detail and finish to be conditioned.
 A10. Red brick new masonry brick wall, Flemish bond. Areas of recessed/projecting/omitted header and alternate brick choice header. Detail and brick choice to be conditioned
 A11. Flemish bond as per A10. Corbelled 35 mm projection from brick face.
 A12. Flemish bond as per A10. Corbelled 70 mm projection from brick face.
- B. ROOF COVERING**
 B1. Existing Clay tile retained
 B2. Clay tile, supplied from site or to match
 B3. Refurbished roof louvre screens
 B4. Single ply warm deck or inverted roof parapet roofing with metal coping
 B5. Single ply membrane warm deck roof to minimum falls with integral coping
 B6. Single ply membrane to minimum falls with integral coping
 B7. Metal rainwater goods. Detail and finish to be conditioned.
 B8. PV Panel with access fixing points as required
 B9. Louvre Extract chimney, metal louvres with copings and flashings. Detail and finish to be conditioned.
 B10. Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.
- C. EXISTING EXTERNAL DOORS AND WINDOWS**
 C1. Existing door retained
 C2. Existing window retained
- D. NEW EXTERNAL DOORS**
 D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.
 D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.
 D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.
 D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.
 D5. Double glazed Aluminium frame hinged double door with single fixed side panel. Detail and finish to be conditioned.
 D6. Double glazed Aluminium frame Bi-folding 4 panel door. Detail and finish to be conditioned.
 D7. Automated sliding entrance door. Aluminium Frame and flashings. Detail and finish to be conditioned.
 D8. Acoustic rated solid metal double door. Detail and finish to be conditioned.
 D9. Acoustic rated solid metal single door. Detail and finish to be conditioned.
 D10. Vertical Brise Soleil. Timber with metal fittings. Detail and finish to be conditioned
- E. NEW EXTERNAL WINDOWS**
 E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E3. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.
 E4. Double glazed aluminium fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.
 E5. Internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking. Detail and finish to be conditioned.
- F. LANDSCAPE**
 F1. New ramped access doormat in situ concrete with recycled site aggregate.
 F2. New service ramp access in situ concrete with recycled site aggregate.
 F3. Masonry bench in situ concrete with recycled site aggregate.
 F4. External timber window seat. Detail and finish to be conditioned
 F5. External decking, pretreated timber boarding with non-slip finish
 F6. Board timber gate to kitchen yard. Detail and finish to be conditioned
 F7. Solid timber balcony structure with metal fittings. Detail and finish to be conditioned
 F8. Metal balustrade with vertical guarding, galvanised finish
 F9. Metal escape stair with inlay treads and contrast nosing, galvanised finish
 F10. Glazed balustrade with metal support frame
 F11. Retained planting strip with improved planting. Detail and specification to be conditioned
 F12. Tree planting with raised bed or tree pit. Location, detail and specification to be conditioned
- G. SIGNAGE & METALWORK**
 G1. Projecting metal signage. Detail and specification to be conditioned
 G2. Wall mounted metal signage. Detail and specification to be conditioned
 G3. Signage billboard with metal channel capping with integrated LED lighting. Detail and specification to be conditioned
 G4. Galvanised metal handrail, 40 mm diameter tube. Detail and specification to be conditioned
 G5. Galvanised 'Sheffield' cycle hoops. Additional provision overall determined against new internal area policy compliant as per LP17
 G6. Galvanised metal access and security gate with associated ironmongery. Detail and specification to be conditioned
- H. EXTERNAL LIGHTING**
 H1. Emergency Lighting
 H2. External Lighting
 H3. Architectural/Signage Lighting

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NOTES
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P2	Planning	AM	TC	16.08.24					
P1	Planning	AJ	TC	12.03.24					
C	Stage 3 - QS Issue Revised	AJ	AM/TC	01.02.24					
B	Stage 3 - QS Issue	AM	TC	22.01.24					
A	Stage 3 - For Coordination	AM	TC	08.01.24					

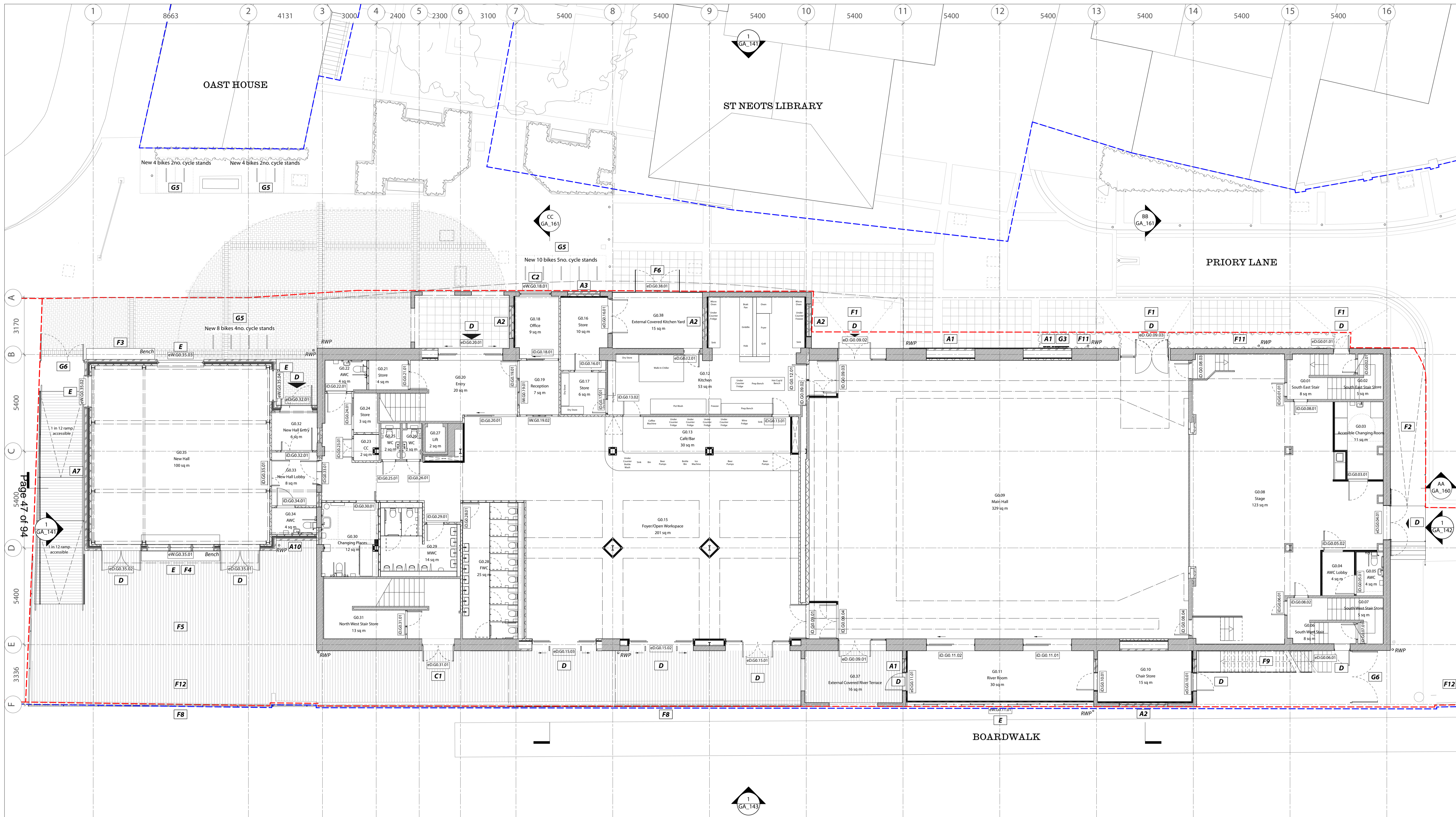
Project Title	
295	St Neots Priory Centre Priory Lane, Saint Neots, PE19 2BH

Drawing Name **PROPOSED Plan G+1**

Drawing Status **PLANNING**

Scale **1:100 @ A1 / 1:200 @ A3**

Drawing No. **295_GA_120** Rev. **P2**



- A. EXTERNAL WALL FINISH**
 - A1. Existing masonry brick wall, stretcher bond, making good where required to match
 - A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned
 - A3. Red brick hit and miss brickwork, flemish bond, screening to natural ventilation, recessed 35 mm. Brick choice to be conditioned
 - A4. Standing seam metal cladding. Detail, material and finish to be conditioned.
 - A5. Painted/finished external timber cladding - 140mm. Color and finish to be conditioned.
 - A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.
 - A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned
 - A8. Red brick new masonry brick wall, stretcher bond half lap. Recessed 35 mm. Brick choice to be conditioned
 - A9. Precast concrete cill. Detail and finish to be conditioned.
 - A10. Red brick new masonry brick wall, flemish bond. Areas of recessed/projecting/omitted header and alternate brick choice header. Detail and brick choice to be conditioned
 - A11. Flemish bond as per A10. Corbelled 35 mm projection from brick face.
 - A12. Flemish bond as per A10. Corbelled 70 mm projection from brick face.
- B. ROOF COVERING**
 - B1. Existing Clay tile retained
 - B2. Clay tile, supplied from site or to match
 - B3. Refurbished roof louvre screens
 - B4. Single ply warm deck or inverted roof parapet roofing with metal coping
 - B5. Single ply membrane warm deck roof to minimum falls with integral coping
 - B6. Single ply membrane to minimum falls with integral coping
 - B7. Metal rainwater goods. Detail and finish to be conditioned.
 - B8. PV Panel with access fixing points as required
 - B9. Louvered Extract chimney, metal louvres with copings and flashings. Detail and finish to be conditioned.
 - B10. Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.
- C. EXISTING EXTERNAL DOORS AND WINDOWS**
 - C1. Existing door retained
 - C2. Existing window retained
- D. NEW EXTERNAL DOORS**
 - D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.
 - D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.
 - D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.
 - D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.
 - D5. Double glazed Aluminium frame hinged double door with single fixed side panel. Detail and finish to be conditioned.
 - D6. Double glazed Aluminium frame Bi-folding 4 panel door. Detail and finish to be conditioned.
 - D7. Automated sliding entrance door. Aluminium Frame and flashings. Detail and finish to be conditioned.
 - D8. Acoustic rated solid metal double door. Detail and finish to be conditioned.
 - D9. Acoustic rated solid metal single door. Detail and finish to be conditioned.
 - D10. Vertical Brise Soleil. Timber with metal fittings. Detail and finish to be conditioned
- E. NEW EXTERNAL WINDOWS**
 - E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 - E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned. Opening casement on limiter.
 - E3. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.
 - E4. Double glazed aluminium Fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.
 - E5. Internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking. Detail and finish to be conditioned.
- F. LANDSCAPE**
 - F1. New ramped access doormat insitu concrete with recycled site aggregate.
 - F2. New service ramp access insitu concrete with recycled site aggregate.
 - F3. Masonry bench insitu concrete with recycled site aggregate.
 - F4. External timber window seat. Detail and finish to be conditioned
 - F5. External decking, pretreated timber boarding with non-slip finish
 - F6. Board timber gate to kitchen yard. Detail and finish to be conditioned
 - F7. Solid timber balcony structure with metal fittings. Detail and finish to be conditioned
 - F8. Metal balustrade with vertical guarding, galvanised finish
 - F9. Metal escape stair with inlay treads and contrast nosing, galvanised finish
 - F10. Glazed balustrade with metal support frame
 - F11. Retained planting strip with improved planting. Detail and specification to be conditioned
 - F12. Tree planting with raised bed or tree pit. Location, detail and specification to be conditioned
- G. SIGNAGE & METALWORK**
 - G1. Projecting metal signage. Detail and specification to be conditioned
 - G2. Wall mounted metal signage. Detail and specification to be conditioned
 - G3. Signage billboard with metal channel capping with integrated LED lighting. Detail and specification to be conditioned
 - G4. Galvanised metal handrail, 40 mm diameter tube. Detail and specification to be conditioned
 - G5. Galvanised 'Sheffield' cycle hoops. Additional provision overall determined against new internal area policy compliant as per LP17
 - G6. Galvanised metal access and security gate with associated ironmongery. Detail and specification to be conditioned
- H. EXTERNAL LIGHTING**
 - H1. Emergency Lighting
 - H2. External Lighting
 - H3. Architectural/Signage Lighting

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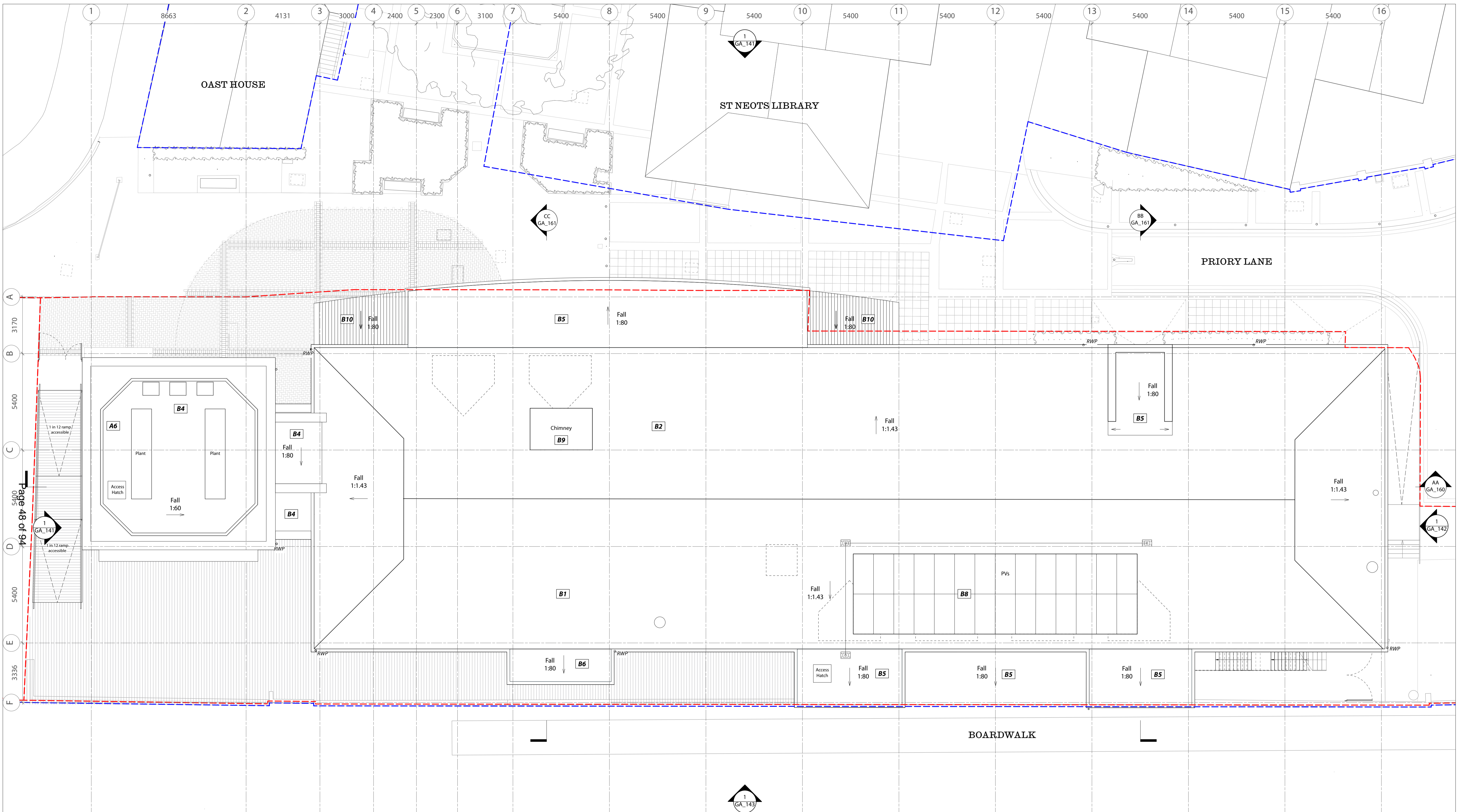
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NOTES
- - - ownership boundary
- - - site boundary

Project Title
295 St Neots Prory Centre
Priory Lane, Saint Neots, PE19 2BH

Drawing Name PROPOSED Plan G+0
Drawing Status PLANNING
Scale 1:100 @ A1 / 1:200 @ A3
Drawing No. 295_GA_119 **Rev.** P2

No.	Revision / Issue	Drawn by	Checked by	Date	No.	Revision / Issue	Drawn by	Checked by	Date
P2	Planning	AM	TC	16.08.24					
P1	Planning	AJ	TC	12.03.24					
C	Stage 3 - QS Issue Revised	AJ	AM/TC	01.02.24					
B	Stage 3 - QS Issue	AM	TC	22.01.24					
A	Stage 3 - For Coordination	AM	TC	08.01.24					



A. EXTERNAL WALL FINISH
 A1. Existing masonry brick wall, stretcher bond, making good where required to match
 A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned
 A3. Red brick hit and miss brickwork, flemish bond, screening to natural ventilation, recessed 35 mm. Brick choice to be conditioned
 A4. Standing seam metal cladding. Detail, material and finish to be conditioned.
 A5. Painted/stained external timber cladding—140mm. Color and finish TBC.
 A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.
 A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned
 A8. Red brick new masonry brick wall, stretcher bond half lap. Recessed 35 mm. Brick choice to be conditioned
 A9. Precast concrete cill. Detail and finish to be conditioned.
 A10. Red brick new masonry brick wall, flemish bond. Areas of recessed/projecting/omitted header and alternate brick choice header. Detail and brick choice to be conditioned
 A11. Flemish bond as per A10. Corbelled 35 mm projection from brick face.
 A12. Flemish bond as per A10. Corbelled 70 mm projection from brick face.

B. ROOF COVERING
 B1. Existing Clay tile retained
 B2. Clay tile, supplied from site or to match
 B3. Refurbished roof louvre screens
 B4. Single ply warm deck or inverted roof parapet roofing with metal coping
 B5. Single ply membrane warm deck roof to minimum falls with integral coping
 B6. Single ply membrane to minimum falls with integral coping
 B7. Metal rainwater goods. Detail and finish to be conditioned.
 B8. PV Panel with access fixing points as required
 B9. Louvred Extract chimney, metal louvres with copings and flashings. Detail and finish to be conditioned.
 B10. Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.

C. EXISTING EXTERNAL DOORS AND WINDOWS
 C1. Existing door retained
 C2. Existing window retained

D. NEW EXTERNAL DOORS
 D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.
 D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.
 D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.
 D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.
 D5. Double glazed Aluminium frame hinged double door with single fixed side panel. Detail and finish to be conditioned.
 D6. Double glazed Aluminium frame 8i-folding 4 panel door. Detail and finish to be conditioned.
 D7. Automated sliding entrance door. Aluminium Frame and flashings. Detail and finish to be conditioned.
 D8. Acoustic rated solid metal double door. Detail and finish to be conditioned.
 D9. Acoustic rated solid metal single door. Detail and finish to be conditioned.
 D10. Vertical Brise Soleil. Timber with metal fittings. Detail and finish to be conditioned

E. NEW EXTERNAL WINDOWS
 E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E3. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.
 E4. Double glazed aluminium fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.
 E5. Internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking. Detail and finish to be conditioned.

F. LANDSCAPE
 F1. New ramped access doormat in situ concrete with recycled site aggregate.
 F2. New service ramp access in situ concrete with recycled site aggregate.
 F3. Masonry bench in situ concrete with recycled site aggregate.
 F4. External timber window seat. Detail and finish to be conditioned
 F5. External decking, pretreated timber boarding with non-slip finish
 F6. Board timber gate to kitchen yard. Detail and finish to be conditioned
 F7. Solid timber balcony structure with metal fittings. Detail and finish to be conditioned
 F8. Metal balustrade with vertical guarding, galvanised finish
 F9. Metal escape stair with inlay treads and end contrast nosing, galvanised finish
 F10. Glazed balustrade with metal support frame
 F11. Retained planting strip with improved planting. Detail and specification to be conditioned.
 F12. Tree planting with raised bed or tree pit. Location, detail and specification to be conditioned

G. SIGNAGE & METALWORK
 G1. Projecting metal signage. Detail and specification to be conditioned
 G2. Wall mounted metal signage. Detail and specification to be conditioned
 G3. Signage billboard with metal channel capping with integrated LED lighting. Detail and specification to be conditioned
 G4. Galvanised metal handrail, 40 mm diameter tube. Detail and specification to be conditioned
 G5. Galvanised 'Sheffield' cycle hoops. Additional provision overall determined against new internal area policy compliant as per LP17
 G6. Galvanised metal access and security gate with associated ironmongery. Detail and specification to be conditioned

H. EXTERNAL LIGHTING
 H1. Emergency Lighting
 H2. External Lighting
 H3. Architectural/Signage Lighting

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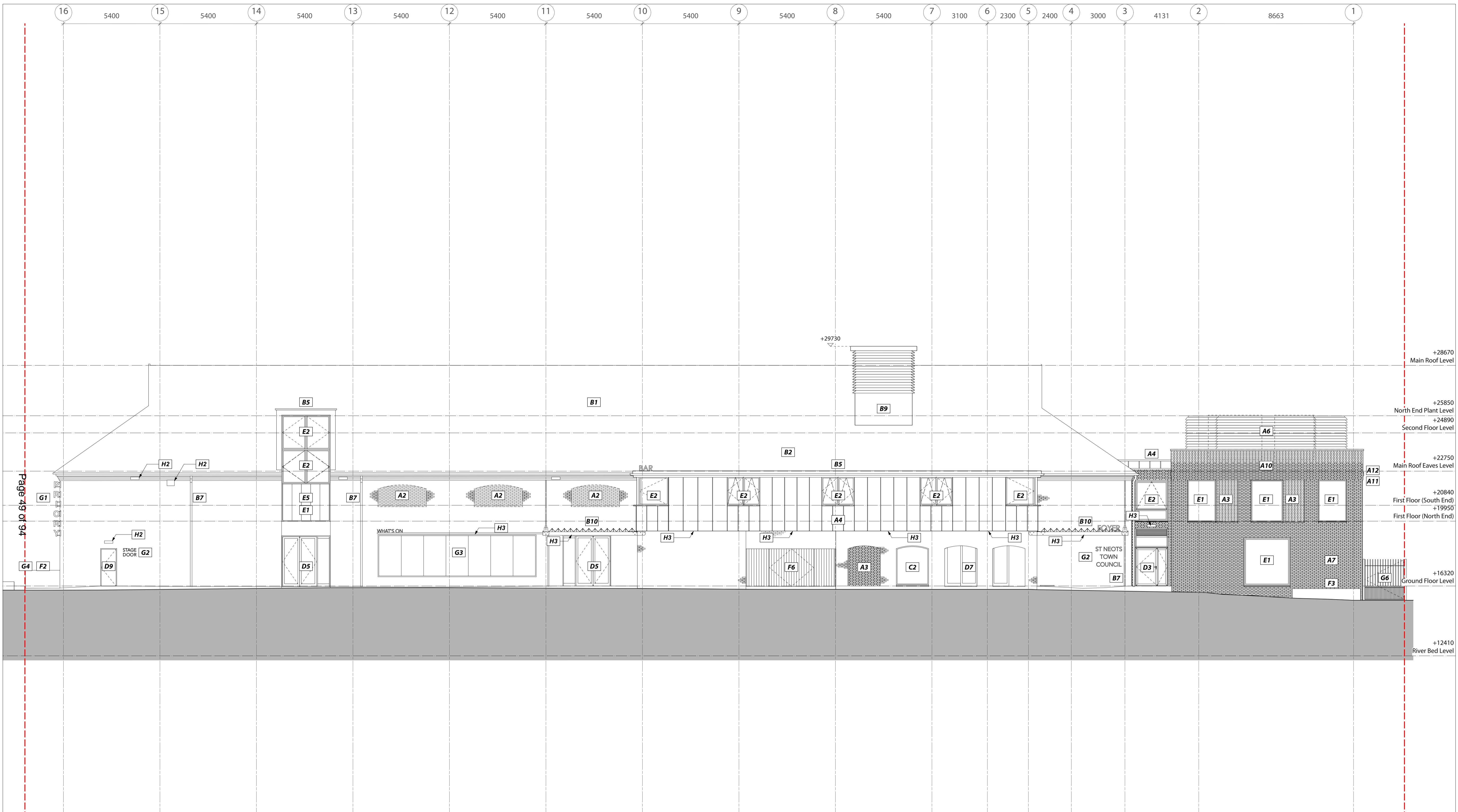
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NOTES
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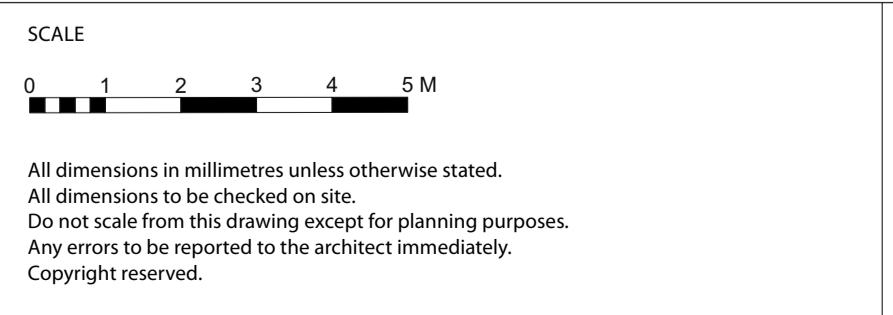
Project Title
295 St Neots Priory Centre
 Priory Lane, Saint Neots, PE19 2BH

Drawing Name **PROPOSED Roof Plan**
 Drawing Status **PLANNING**
 Scale **1:100 @ A1 / 1:200 @ A3**
 Drawing No. **295_GA_122** Rev. **P2**



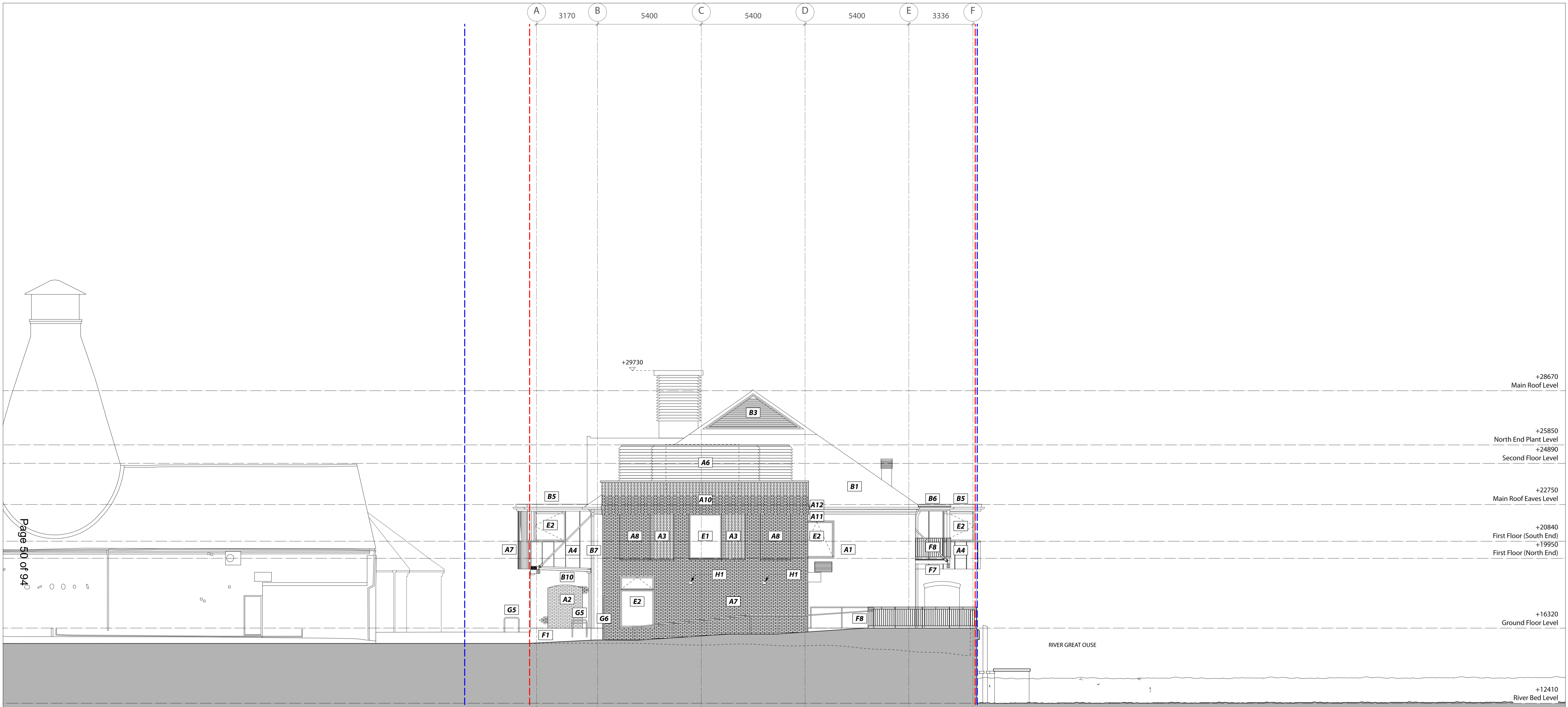
- A. EXTERNAL WALL FINISH**
 A1. Existing masonry brick wall, stretcher bond, making good where required to match
 A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned
 A3. Red brick hit and miss brickwork, flemish bond, screening to natural ventilation, recessed 35 mm. Brick choice to be conditioned
 A4. Standing seam metal cladding. Detail, material and finish to be conditioned.
 A5. Painted/stained external timber cladding—140mm. Color and finish TBC.
 A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.
 A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned
 A8. Red brick new masonry brick wall, stretcher bond half lap. Recessed 35 mm. Brick choice to be conditioned
 A9. Precast concrete cill. Detail and finish to be conditioned.
 A10. Red brick new masonry brick wall, flemish bond. Areas of recessed/projecting/omitted header and alternate brick choice headers. Detail and brick choice to be conditioned
 A11. Flemish bond as per A10. Corbelled 35 mm projection from brick face.
 A12. Flemish bond as per A10. Corbelled 70 mm projection from brick face.
- B. ROOF COVERING**
 B1. Existing Clay tile retained
 B2. Clay tile, supplied from site or to match
 B3. Refurbished roof louvre screens
 B4. Single ply warm deck or inverted roof parapet roofing with metal coping
 B5. Single ply membrane warm deck roof to minimum falls with integral coping
 B6. Single ply membrane to minimum falls with integral coping
 B7. Metal rainwater goods. Detail and finish to be conditioned.
 B8. PV Panel with access fixing points as required
 B9. Louvred Extract chimney, metal louvres with copings and flashings. Detail and finish to be conditioned.
 B10. Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.
- C. EXISTING EXTERNAL DOORS AND WINDOWS**
 C1. Existing door retained
 C2. Existing window retained
- D. NEW EXTERNAL DOORS**
 D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.
 D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.
 D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.
 D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.
 D5. Double glazed Aluminium frame hinged double door with single fixed side panel. Detail and finish to be conditioned.
 D6. Double glazed Aluminium frame 8i-folding 4 panel door. Detail and finish to be conditioned.
 D7. Automated sliding entrance door. Aluminium Frame and flashings. Detail and finish to be conditioned.
 D8. Acoustic rated solid metal double door. Detail and finish to be conditioned.
 D9. Acoustic rated solid metal single door. Detail and finish to be conditioned.
 D10. Vertical Brise Soleil. Timber with metal fittings. Detail and finish to be conditioned
- E. NEW EXTERNAL WINDOWS**
 E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E3. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.
 E4. Double glazed aluminium fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.
 E5. Internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking. Detail and finish to be conditioned.
- F. LANDSCAPE**
 F1. New ramped access doormat insitu concrete with recycled site aggregate.
 F2. New service ramp access insitu concrete with recycled site aggregate.
 F3. Masonry bench insitu concrete with recycled site aggregate.
 F4. External timber window seat. Detail and finish to be conditioned
 F5. External decking, pretreated timber boarding with non-slip finish
 F6. Board timber gate to kitchen yard. Detail and finish to be conditioned
 F7. Solid timber balcony structure with metal fittings. Detail and finish to be conditioned
 F8. Metal balustrade with vertical guarding, galvanised finish
 F9. Metal escape stair with inlay treads and contrast nosing, galvanised finish
 F10. Glazed balustrade with metal support frame
 F11. Retained planting strip with improved planting. Detail and specification to be conditioned
 F12. Tree planting with raised bed or tree pit. Location, detail and specification to be conditioned
- G. SIGNAGE & METALWORK**
 G1. Projecting metal signage. Detail and specification to be conditioned
 G2. Wall mounted metal signage. Detail and specification to be conditioned
 G3. Signage billboard with metal channel capping with integrated LED lighting. Detail and specification to be conditioned
 G4. Galvanised metal handrail, 40 mm diameter tube. Detail and specification to be conditioned
 G5. Galvanised 'Sheffield' cycle hoops. Additional provision overall determined against new internal area policy compliant as per LP17
 G6. Galvanised metal access and security gate with associated ironmongery. Detail and specification to be conditioned
- H. EXTERNAL LIGHTING**
 H1. Emergency Lighting
 H2. External Lighting
 H3. Architectural/Signage Lighting

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No.	Revision / Issue	Drawn by	Checked by	Date	No.	Revision / Issue	Drawn by	Checked by	Date
P2	Planning	AM	TC	16.08.24					
P1	Planning	AJ	TC	12.03.24					
B	Stage 3 - QS Issue	AM	TC	22.01.24					
A	Stage 3 - For Coordination	AM	TC	08.01.24					

Project Title									
295 St Neots Priory Centre Priory Lane, Saint Neots, PE19 2BH									
Drawing Name PROPOSED East Elevation									
Drawing Status PLANNING									
Scale 1:50 @ A1 / 1:100 @ A3									
Drawing No. 295_GA_141 Rev. P2									



Page 50 of 94

- A. EXTERNAL WALL FINISH**
 A1. Existing masonry brick wall, stretcher bond, making good where required to match
 A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned
 A3. Red brick hit and miss brickwork, flemish bond, screening to natural ventilation, recessed 35 mm. Brick choice to be conditioned
 A4. Standing seam metal cladding. Detail, material and finish to be conditioned.
 A5. Painted/stained external timber cladding - 140mm. Color and finish TBC.
 A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.
 A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned
 A8. Red brick new masonry brick wall, stretcher bond half lap. Recessed 35 mm. Brick choice to be conditioned
 A9. Precast concrete cill. Detail and finish to be conditioned.
 A10. Red brick new masonry brick wall, flemish bond. Areas of recessed/projecting/omitted header and alternate brick choice headers. Detail and brick choice to be conditioned
 A11. Flemish bond as per A10. Corbelled 35 mm projection from brick face.
 A12. Flemish bond as per A10. Corbelled 70 mm projection from brick face.

- B. ROOF COVERING**
 B1. Existing Clay tile retained
 B2. Clay tile, supplied from site or to match
 B3. Refurbished roof louvre screens
 B4. Single ply warm deck or inverted roof parapet roofing with metal coping
 B5. Single ply membrane warm deck roof to minimum falls with integral coping
 B6. Single ply membrane to minimum falls with integral coping
 B7. Metal rainwater goods. Detail and finish to be conditioned.
 B8. PV Panel with access fixing points as required
 B9. Louvred Extract chimney, metal louvres with copings and flashings. Detail and finish to be conditioned.
 B10. Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.
- C. EXISTING EXTERNAL DOORS AND WINDOWS**
 C1. Existing door retained
 C2. Existing window retained

- D. NEW EXTERNAL DOORS**
 D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.
 D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.
 D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.
 D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.
 D5. Double glazed Aluminium frame hinged double door with single fixed side panel. Detail and finish to be conditioned.
 D6. Double glazed Aluminium frame 8i-folding 4 panel door. Detail and finish to be conditioned.
 D7. Automated sliding entrance door. Aluminium Frame and flashings. Detail and finish to be conditioned.
 D8. Acoustic rated solid metal double door. Detail and finish to be conditioned.
 D9. Acoustic rated solid metal single door. Detail and finish to be conditioned.
 D10. Vertical Brise Soleil. Timber with metal fittings. Detail and finish to be conditioned

- E. NEW EXTERNAL WINDOWS**
 E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned. Opening casement on limiter.
 E3. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.
 E4. Double glazed aluminium fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.
 E5. Internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking. Detail and finish to be conditioned.

- F. LANDSCAPE**
 F1. New ramped access doormat insitu concrete with recycled site aggregate.
 F2. New service ramp access insitu concrete with recycled site aggregate.
 F3. Masonry bench insitu concrete with recycled site aggregate.
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 F8. Metal balustrade with vertical guarding, galvanised finish
 F9. Metal escape stair with inlay treads and and contrast nosing, galvanised finish
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 F12. Tree planting with raised bed or tree pit. Location, detail and specification to be conditioned

- G. SIGNAGE & METALWORK**
 G1. Projecting metal signage. Detail and specification to be conditioned
 G2. Wall mounted metal signage. Detail and specification to be conditioned
 G3. Signage billboard with metal channel capping with integrated LED lighting. Detail and specification to be conditioned
 G4. Galvanised metal handrail, 40 mm diameter tube. Detail and specification to be conditioned
 G5. Galvanised 'Sheffield' cycle hoops. Additional provision overall determined against new internal area policy compliant as per LP17
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- H. EXTERNAL LIGHTING**
 H1. Emergency Lighting
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SCALE
 0 1 2 3 4 5 M

NOTES
 - - - ownership boundary
 - - - site boundary

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Revision Table:

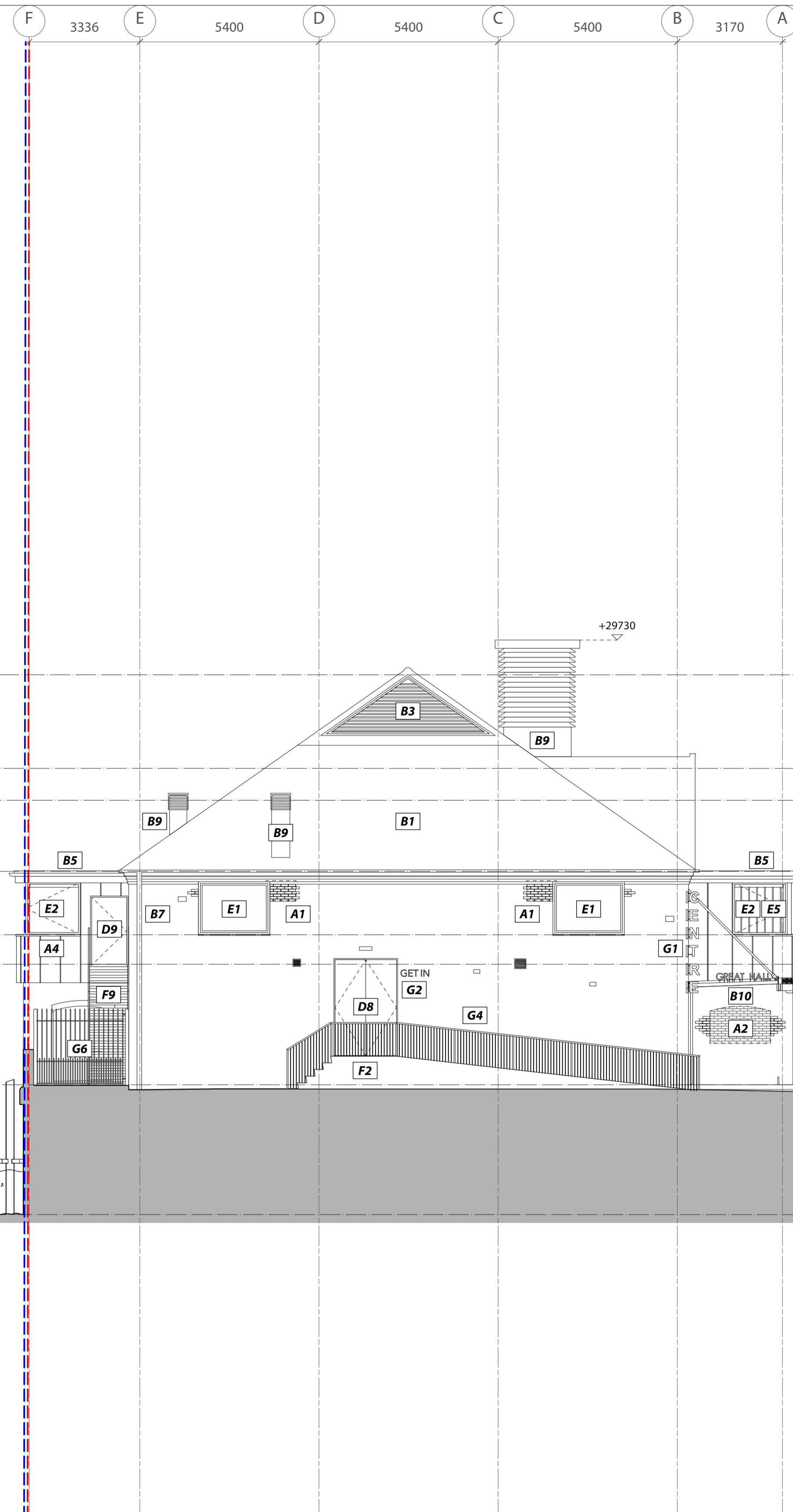
No.	Revision / Issue	Drawn by	Checked by	Date
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P1	Planning	AJ	TC	12.03.24
B	Stage 3 - QS Issue	AM	TC	22.01.24
A	Stage 3 - For Coordination	AM	TC	08.01.24

Revision / Issue | **Drawn by** | **Checked by** | **Date**

Project Title
295 St Neots Priory Centre
 Priory Lane, Saint Neots, PE19 2BH

Drawing Name PROPOSED North Elevation
Drawing Status PLANNING
Scale 1:50 @ A1 / 1:100 @ A3
Drawing No. 295_GA_140 | **Rev.** P2

+0000 AOD



+28670 Main Roof Level
 +25850 North End Plant Level
 +24890 Second Floor Level
 +22750 Main Roof Eaves Level
 +20840 First Floor (South End)
 +19950 First Floor (North End)
 +16320 Ground Floor Level
 +12410 River Bed Level

A. EXTERNAL WALL FINISH
 A1. Existing masonry brick wall, stretcher bond, making good where required to match
 A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned
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 A5. Painted/stained external timber cladding—140mm. Color and finish TBC.
 A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.
 A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned
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B. ROOF COVERING
 B1. Existing Clay tile retained
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 B10. Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.

D. NEW EXTERNAL DOORS
 D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.
 D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.
 D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.
 D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.
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 D6. Double glazed Aluminium frame 8i-folding 4 panel door. Detail and finish to be conditioned.
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E. NEW EXTERNAL WINDOWS
 E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.
 E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned. Opening casement on limiter.
 E3. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.
 E4. Double glazed aluminium fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.
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 F1. New ramped access doormat insitu concrete with recycled site aggregate.
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 F4. External timber window seat. Detail and finish to be conditioned
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G. SIGNAGE & METALWORK
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SCALE
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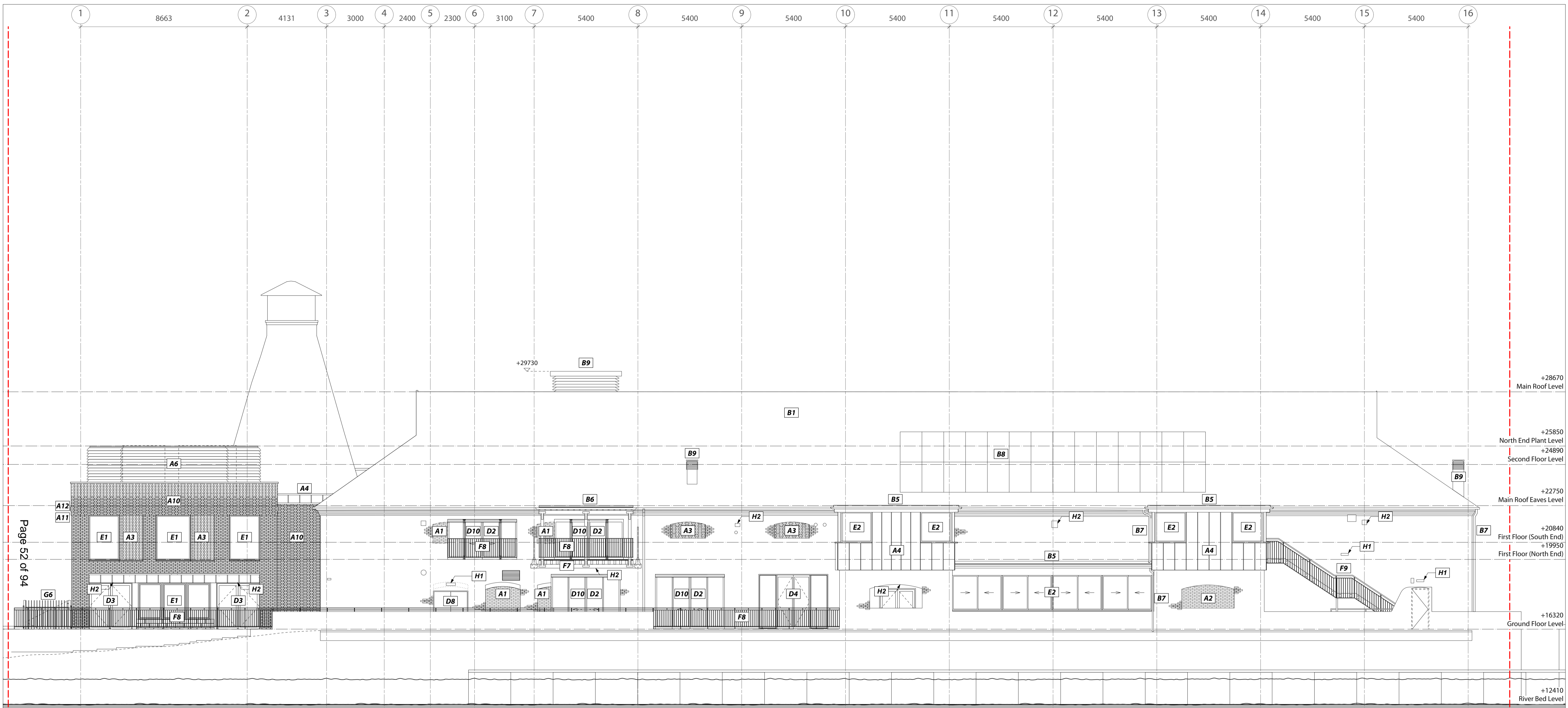
Project Title
295 St Neots Priory Centre
 Priory Lane, Saint Neots, PE19 2BH

Drawing Name **PROPOSED South Elevation**

Drawing Status **PLANNING**

Scale **1:50 @ A1 / 1:100 @ A3**

Drawing No. **295_GA_142** Rev. **P2**



Page 52 of 94

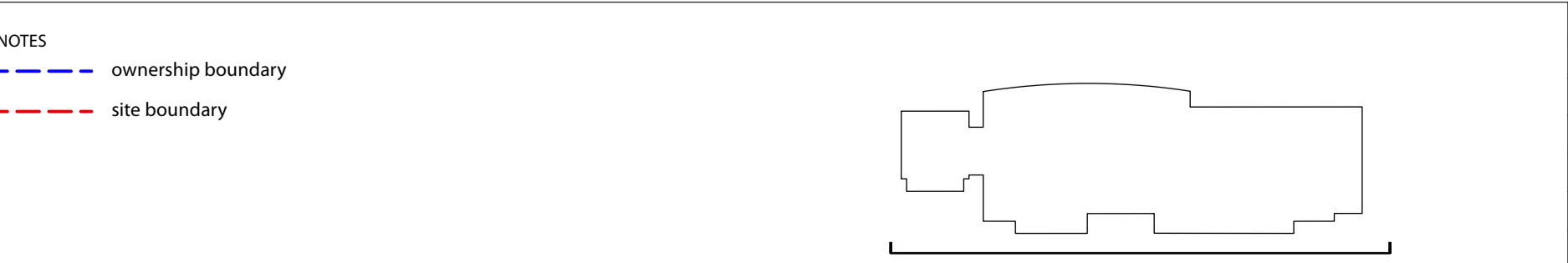
- | | | | | | | | |
|--|--|--|--|--|--|--|---|
| <p>A. EXTERNAL WALL FINISH</p> <p>A1. Existing masonry brick wall, stretcher bond, making good where required to match</p> <p>A2. Red brick infill cavity wall construction, stretcher bond to match, recessed 35 mm. Brick choice to be conditioned</p> <p>A3. Red brick hit and miss brickwork, Flemish bond, screening to natural ventilation, recessed 35 mm. Brick choice to be conditioned</p> <p>A4. Standing seam metal cladding. Detail, material and finish to be conditioned.</p> <p>A5. Painted/stained external timber cladding - 140mm. Color and finish TBC.</p> <p>A6. Acoustic louvre plant screening. Detail, material and finish to be conditioned.</p> <p>A7. Red brick new masonry brick wall, stretcher bond half lap. Brick choice to be conditioned</p> <p>A8. Red brick new masonry brick wall, stretcher bond half lap. Recessed 35 mm. Brick choice to be conditioned</p> <p>A9. Precast concrete cill. Detail and finish to be conditioned.</p> <p>A10. Red brick new masonry brick wall, Flemish bond. 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Folded aluminium canopy with exposed timber and metal support structure. Detail and finish to be conditioned.</p> | <p>C. EXISTING EXTERNAL DOORS AND WINDOWS</p> <p>C1. Existing door retained</p> <p>C2. Existing window retained</p> | <p>D. NEW EXTERNAL DOORS</p> <p>D1. Double glazed Aluminium frame hinged single door. Detail and finish to be conditioned.</p> <p>D2. Double glazed Aluminium frame 4 panel with pair central sliders. Detail and finish to be conditioned.</p> <p>D3. Double glazed Aluminium hinged double door. Detail and finish to be conditioned.</p> <p>D4. Double glazed Aluminium frame hinged double door with fixed side panels. Detail and finish to be conditioned.</p> <p>D5. Double glazed Aluminium frame hinged double door with single fixed side panel. Detail and finish to be conditioned.</p> <p>D6. Double glazed Aluminium frame Bi-folding 4 panel door. Detail and finish to be conditioned.</p> <p>D7. Automated sliding entrance door. Aluminium Frame and flashings. Detail and finish to be conditioned.</p> <p>D8. Acoustic rated solid metal double door. Detail and finish to be conditioned.</p> <p>D9. Acoustic rated solid metal single door. Detail and finish to be conditioned.</p> <p>D10. Vertical Brise Soleil. Timber with metal fittings. Detail and finish to be conditioned</p> | <p>E. NEW EXTERNAL WINDOWS</p> <p>E1. Fixed frame Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.</p> <p>E2. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned.</p> <p>E3. Double glazed aluminium window with integrated cill to match / precast cill. Detail and finish to be conditioned. Opening casement on limiter.</p> <p>E4. Integrated PPC Aluminium louvre. Detail and finish to be conditioned.</p> <p>E5. Double glazed aluminium fanlight to co-ordinate with door assembly. Detail and finish to be conditioned.</p> <p>E6. Internal fixed timber screening to inner face of glazing to reduce risk of privacy overlooking. Detail and finish to be conditioned.</p> | <p>F. LANDSCAPE</p> <p>F1. New ramped access door mat in situ concrete with recycled site aggregate.</p> <p>F2. New service ramp access in situ concrete with recycled site aggregate.</p> <p>F3. Masonry bench in situ concrete with recycled site aggregate.</p> <p>F4. External timber window seat. Detail and finish to be conditioned</p> <p>F5. External decking, pretreated timber boarding with non-slip finish</p> <p>F6. Board timber gate to kitchen yard. Detail and finish to be conditioned</p> <p>F7. Solid timber balcony structure with metal fittings. Detail and finish to be conditioned</p> <p>F8. Metal balustrade with vertical guarding, galvanised finish</p> <p>F9. Metal escape stair with inlay treads and and contrast nosing, galvanised finish</p> <p>F10. Glazed balustrade with metal support frame</p> <p>F11. 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Architectural/Signage Lighting</p> |
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SCALE
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NOTES
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P1	Planning	AJ	TC	12.03.24					
B	Stage 3 - QS Issue	AM	TC	22.01.24					
A	Stage 3 - For Coordination	AM	TC	08.01.24					

Project Title
295 St Neots Priory Centre
 Priory Lane, Saint Neots, PE19 2BH

Drawing Name **PROPOSED West Elevation**

Drawing Status **PLANNING**

Scale **1:50 @ A1 / 1:100 @ A3**

Drawing No. **295_GA_143** Rev. **P2**

DEVELOPMENT MANAGEMENT COMMITTEE 16th September 2024

Case No: 24/00900/HHFUL

Proposal: Erection of replacement garage

Location: 29 Springfield, Somersham, Huntingdon, PE28 3ED

Applicant: Miss Elaine McEvoy

Grid Ref: (E) 536550 (N) 277985

Date of Registration: 3rd June 2024

Parish: Somersham

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC), in accordance with the Scheme of Delegation as the application is submitted by the Partner of a member of the Council's staff who is involved in the planning or development process.

1. DESCRIPTION OF SITE AND APPLICATION

- 1.1 The dwelling is a two-storey semi-detached dwellinghouse located within a well-established residential area of Somersham. The main dwelling is of brick and tile construction with a timber lean-to garage on its southern side elevation. The dwelling has previously been extended with a single storey rear extension and a single storey front extension, under previous permissions. The site is located in Flood Zone 1 and there are no Heritage Assets in the vicinity of the site.
- 1.2 The application seeks planning permission for the erection of a replacement garage building on its side elevation.
- 1.3 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area including reviews of historically held records.

2. NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (December 2023) (NPPF 2023) sets out the three objectives - economic, social, and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable

development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment.
- 2.3 Planning Practice Guidance and the National Design Guide 2021 are also relevant and are material considerations.

For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

- 3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)
- LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
- 3.2 Supplementary Planning Documents (SPD) and Guidance:
- Huntingdonshire Design Guide Supplementary Planning Document 2017
 - Developer Contributions SPD 2011
 - Huntingdonshire Landscape and Townscape Assessment (2022)
 - Huntingdonshire Strategic Flood Risk Assessment (2017)
 - Cambridgeshire Flood and Water SPD 2017
 - LDF Developer Contributions SPD (2011)
 - Annual Monitoring Review regarding housing land supply (2021)
 - Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
- 3.3 The National Design Guide (2021)
- C1 - Understand and relate well to the site, its local and wider context
 - I1 - Respond to existing local character and identity
 - I2 - Well-designed, high quality and attractive
 - B2 - Appropriate building types and forms
 - H1 - Healthy, comfortable and safe internal and external environment

For full details visit the government website [Local policies](#)

4. PLANNING HISTORY

- 4.1 1400489FUL - Single storey front extension to provide WC and shower – Permission granted 09.05.2014
- 4.2 1406504PDE - Replace garage with brick and tile building – Permission required 11.06.2014
- 4.3 18/00018/EXTDET - Extension to living room (5.8m wide, 3.3m from existing house, 2.7m to eaves, 3.8m to ridge). Mono pitch roof consisting of two roof lights approx 0.6m x 1.2m. French patio doors approx 3m. – Approved extension 12.02.2018

5. CONSULTATIONS

- 5.1 Somersham Parish Council support the application as the proposal does not appear to adversely affect any neighbouring properties.

6. REPRESENTATIONS

- 6.1 No objections have been received at the time of writing this report.

7. ASSESSMENT

- 7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.
- 7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within paragraph 47 of the NPPF (2023). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".
- 7.3 In Huntingdonshire the Development Plan consists of:
- Huntingdonshire's Local Plan to 2036 (2019)
 - Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)
 - Relevant Neighbourhood Plans
- 7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: Cala Homes (South) Ltd v Secretary of State for

Communities and Local Government & Anor [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

- 7.5 The main issues to consider in the determination of this application are:
- Design and Visual Amenity
 - Residential amenity

Design and Visual Amenity

7.6 The application seeks to replace an existing timber lean-to garage with a brick and tile garage to match the existing dwellinghouse.

7.7 Policy LP11 of the Local Plan states that a proposal will be supported where it is demonstrated that it responds positively to its context. Policy LP12 states that new development will be expected to be well designed and that a proposal will be supported where it can be demonstrated that it contributes positively to the area's character and identity and successfully integrates with adjoining buildings and landscape. The above policies are reinforced by Paragraphs 128 (d) and (e) and Paragraph 135 (b) and (c) of the NPPF that seek to maintain an area's prevailing character and ensure development is sympathetic to local character.

7.8 The National Design Guide (2020) sets out the characteristics of well-designed places and demonstrates what good design means in practice. It covers the following: context, identity, built form, movement, nature, public spaces, uses, homes and buildings, resources and lifespan.

7.9 The proposal seeks to replace the existing timber lean-to garage with a new brick built garage with a mono-pitched tiled roof with two small rooflights incorporated in the southern roof slope. The proposal would sit on the same footprint as the existing garage but would have a slightly higher ridge height of approx. 3.6 metres due to the mono-pitch roof design. Whilst the internal dimensions of the garage would be too small to count as an official parking space for the dwelling in line with our standards, this is no different to the present building on site to be replaced. In addition the frontage area of the property is hard surfaced and available for car parking, therefore there is considered to be sufficient space on site to meet the parking needs of the dwelling. The proposed brickwork would be Nevada buff and the roof tiles would be marley double roman tiles, all to match those of the existing host dwelling. The design and materials are considered acceptable and cohesive with the design of the host

dwelling and would result in a visual enhancement, in keeping with the character and appearance of the host dwelling and the surrounding area.

- 7.10 As such, it is considered that the proposed development would accords with Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036.

Impact upon Residential Amenity

- 7.11 Policy LP14 of the Local Plan states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.12 The application seeks to replace an existing garage with a new brick-built garage with a mono-pitched roof. The proposal includes two small rooflights in the southern roofslope. These rooflights would serve the garage and would not offer views to any neighbouring properties or private amenity space. Given the siting, scale and design of the proposed garage, it is not considered that the proposal would have an adverse impact on the neighbouring amenity of any surrounding sites.
- 7.13 As such, it is considered that the proposed development would maintain a high standard of amenity for all occupiers of neighbouring land and buildings and therefore accords with Policy LP14 of Huntingdonshire's Local Plan in this regard.

Conclusion

- 7.14 The application seeks to erect a new brick-built garage to replace an existing timber lean-to garage, which result in a visual enhancement to the site.
- 7.15 Having regard to all relevant material considerations, it is concluded that the proposed replacement garage is considered to be compliant with the relevant national and local policy.

8. RECOMMENDATION - APPROVAL subject to conditions to include the following

- Time limit
- Approved plans
- Materials to match existing

If you would like a translation of this document, a large text version or an audio version, please contact us on 01480 388388 and we will try to accommodate your needs

CONTACT OFFICER: Robyn Kerrigan – Development Management
Officer Robyn.Kerrigan@huntingdonshire.gov.uk

From: DevelopmentControl
Sent: 09 July 2024 13:52
To: DevelopmentControl
Subject: Comments for Planning Application 24/00900/HHFUL

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 09/07/2024 1:51 PM from Mrs Irene Healiss.

Application Summary

Address: 29 Springfield Somersham Huntingdon PE28 3ED

Proposal: Erection of replacement garage

Case Officer: [REDACTED]

[Click for further information](#)

Customer Details

Name: [REDACTED]

Email: [REDACTED]

Address: [REDACTED]

Comments Details

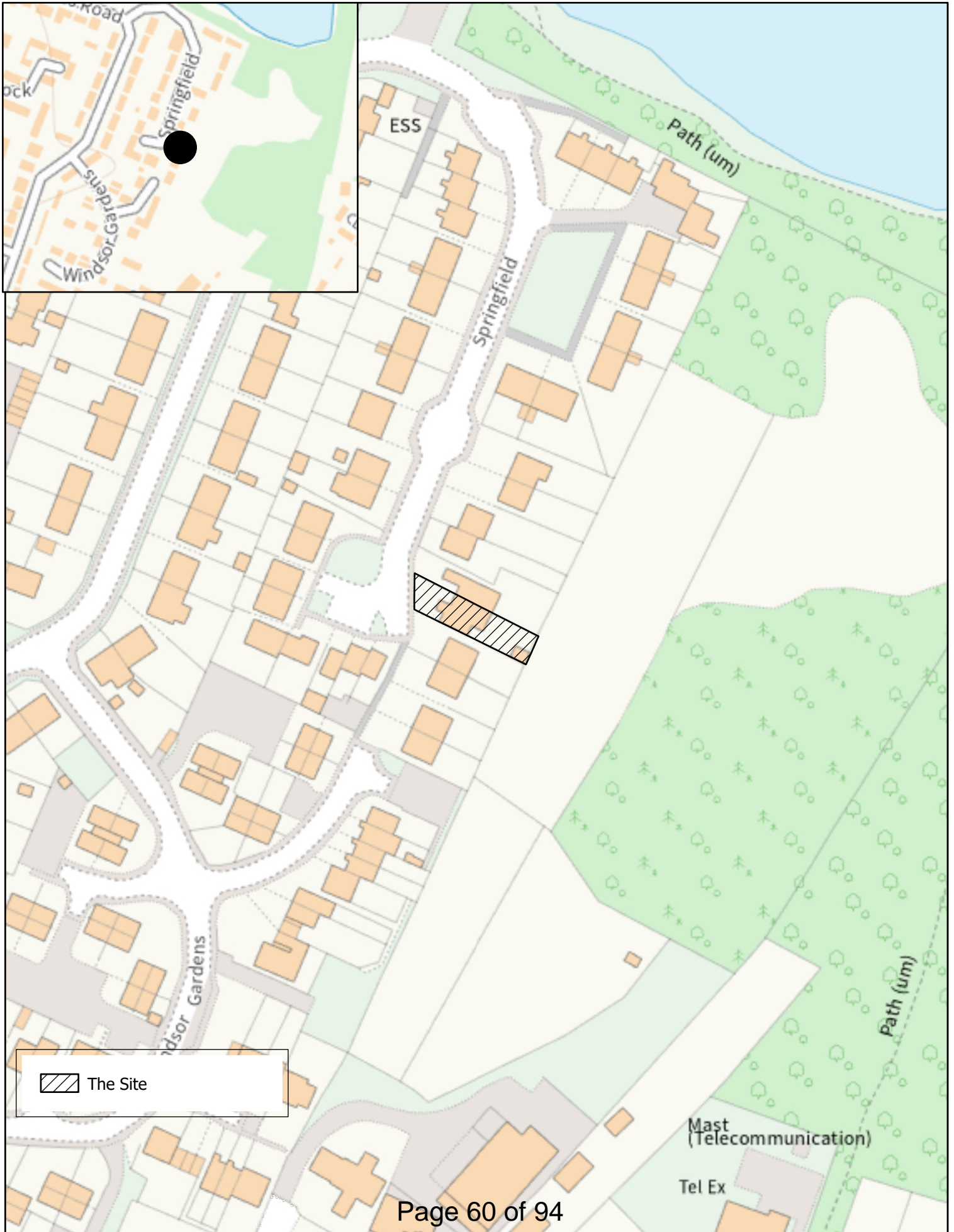
Commenter Type: Town or Parish Council

Stance: Customer made comments in support of the Planning Application

Reasons for comment:

Comments: Further to the meeting held on the 8th July, Somersham Parish Council agreed to support this application as the proposal does not appear to adversely affect any neighbouring properties.

Kind regards



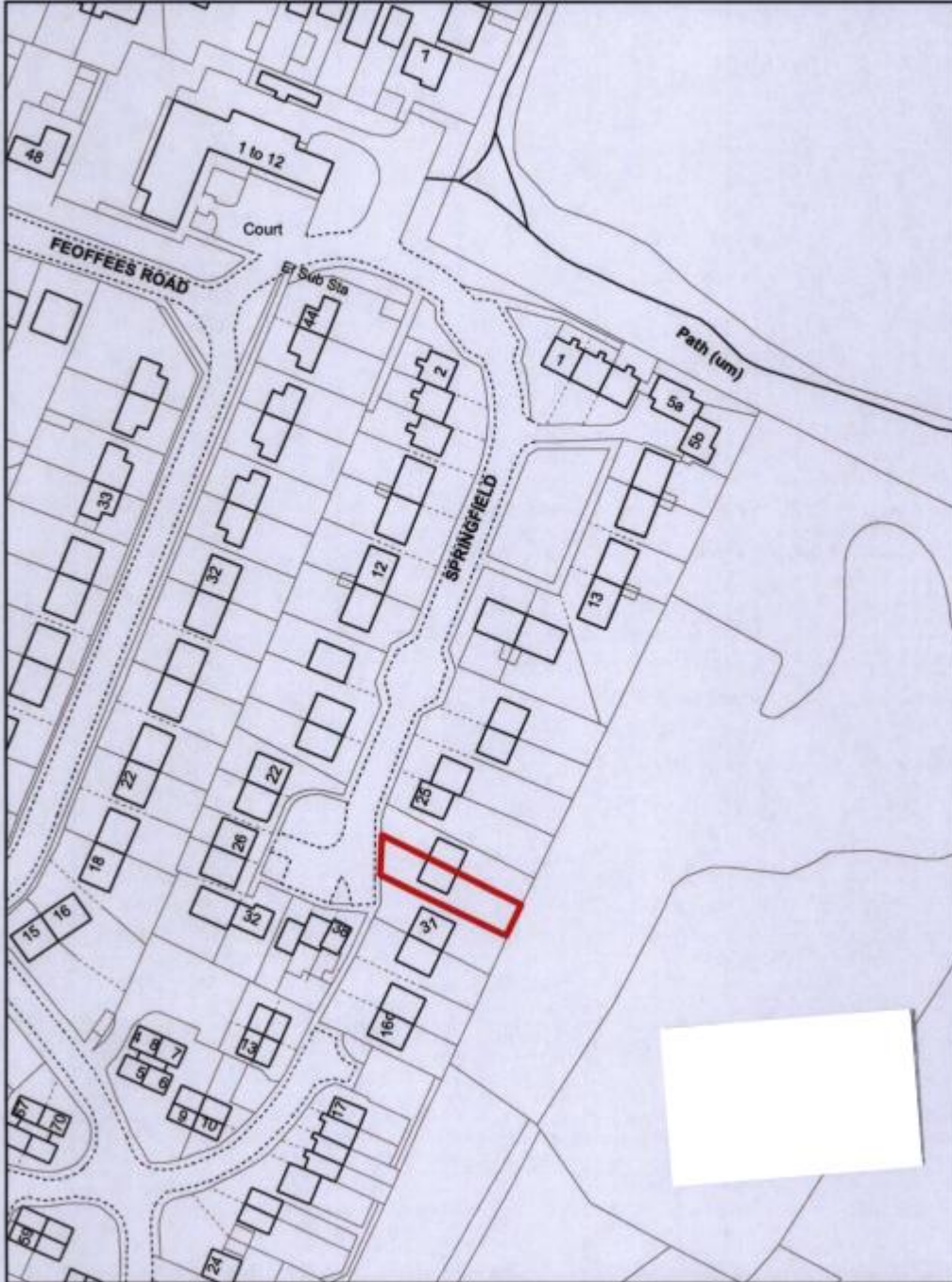
 The Site

LOCATION PLAN

Land at 29 Springfield
Somersham
Cambridgeshire
PE28 3ED



Scale 1 to 1,1250



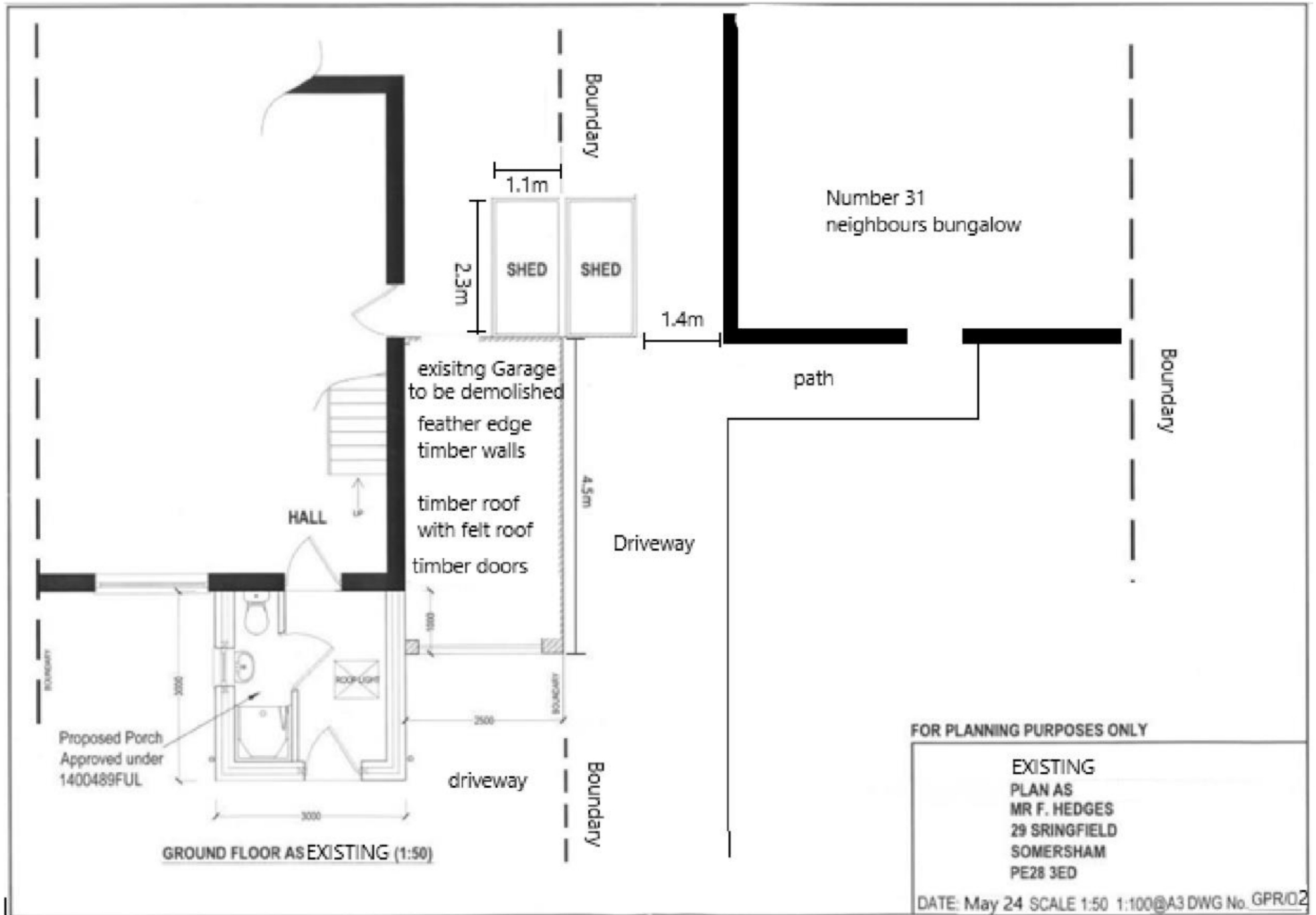
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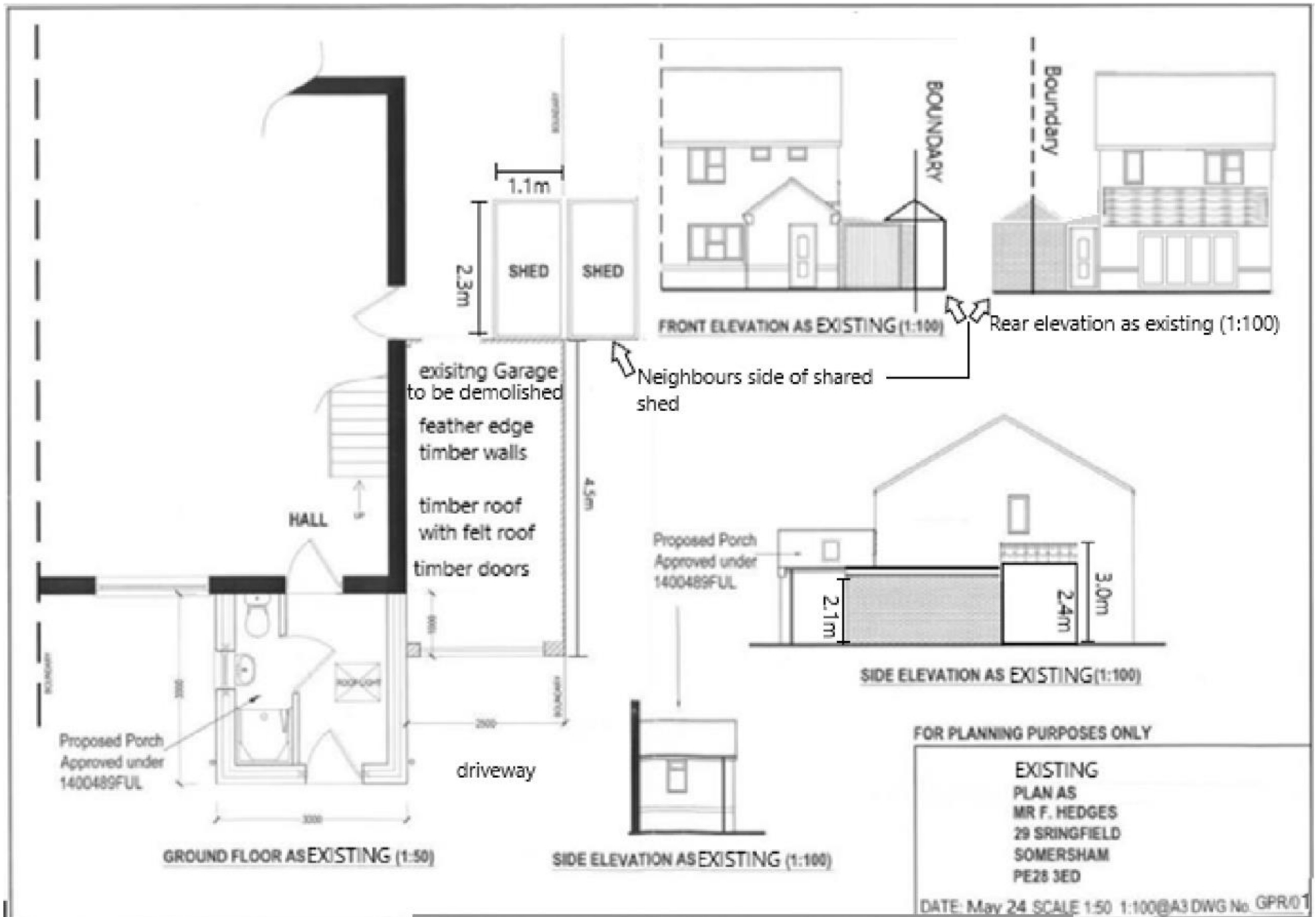
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Cambridgeshire
PE28 3ED

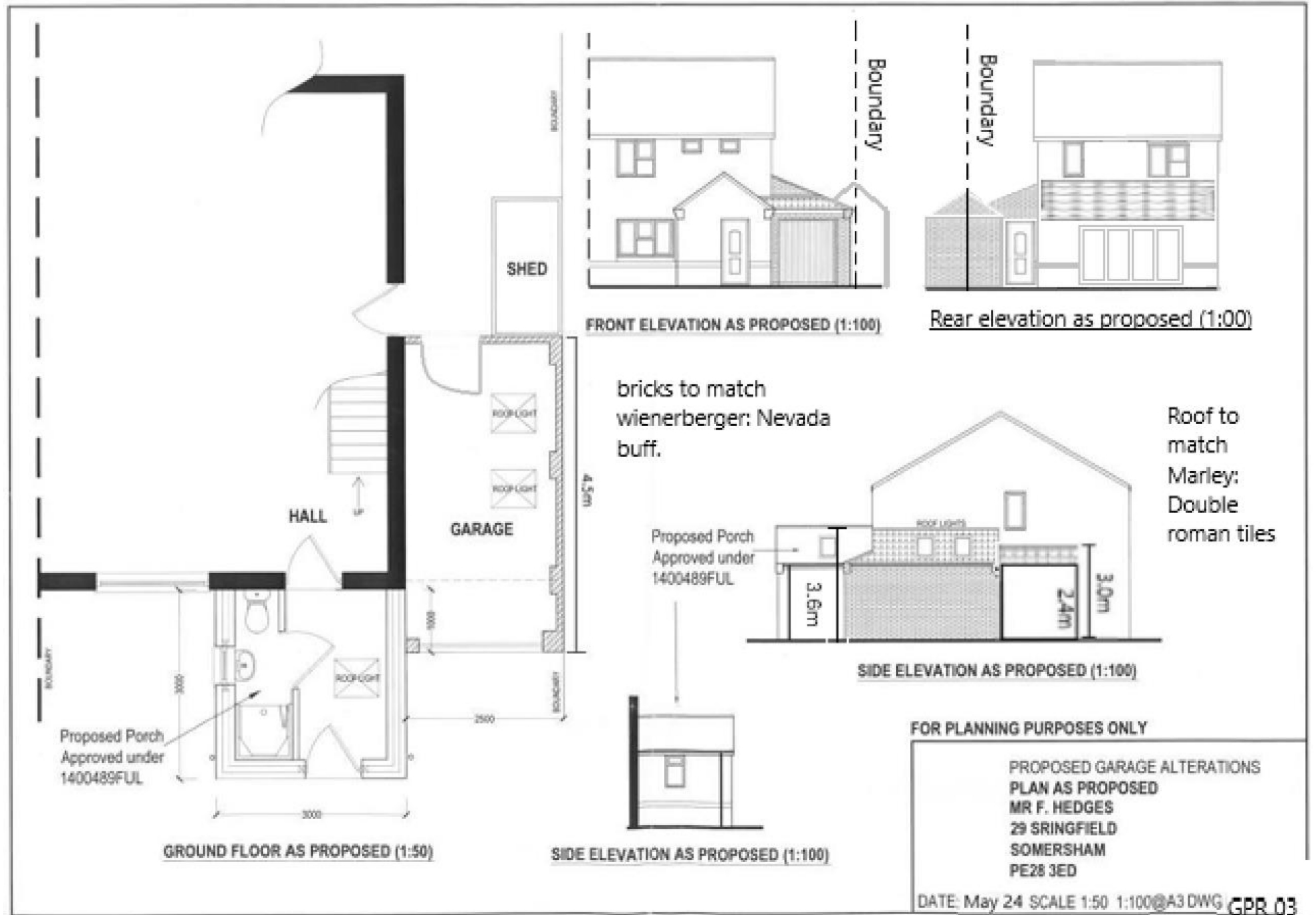


Scale 1 to 500









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**DEVELOPMENT MANAGEMENT
COMMITTEE 16th SEPTEMBER 2024**

Case No: 23/02502/FUL

Proposal: ERECTION OF 12 SINGLE BEDROOM ASSISTED LIVING APARTMENTS (USE CLASS C3) WITH ANCILLARY OFFICE AND COMMUNAL AREA REQUIRING THE DEMOLITION OF A DWELLING, RETAIL UNIT AND EQUINE FACILITIES

**Location: 93 PETERBOROUGH ROAD FARCET
PETERBOROUGH PE7 3BN**

Applicant: MS WALDRON

Grid Ref: 520140 295125

Date of Registration: 04.01.2024

Parish: FARCET

RECOMMENDATION - APPROVE

This application is referred to the Development Management Committee (DMC) in accordance with the Council's Scheme of Delegation as the Officer recommendation of approval is contrary to the Parish Council recommendation of refusal.

1. DESCRIPTION OF SITE AND APPLICATION

Site and Surroundings

1.1 The application site is No. 93 Peterborough Road, Farcet, which is a semi detached two storey dwelling, with associated land to the rear containing five ancillary buildings. The barn to the rear was formally used for business storage (Use Class B8) and the ancillary use for the sale of equestrian paraphernalia (Use Class E, formally known as A1). An equestrian menage is located to the west of the ancillary buildings. A well-established hedgerow to bounds the site to the north and sporadic hedgerows and trees lines the site to the south. Various scattered trees are in proximity to the site.

1.2 To the north and west of the application site is open countryside, which separates the village of Farcet and the City of Peterborough. To the south of the site, is a residential cul-de-sac known as Throstlenest, which primarily comprises of bungalows. And to the east of the site is the public highway Peterborough Road and further linear residential housing beyond.

- 1.3 The application site is located within the built-up area of Farcet, and within Flood Zone 1 and there are no designated heritage or ecological assets within the vicinity of the site.

Proposal

- 1.4 The application seeks planning permission for the erection of three two-storey apartment buildings to provide 12 assisted living apartments for adults from 18-65 with learning, mental and physical difficulties (Use Class C3). Each apartment would have a living room, kitchen area, bedroom and bathroom to offer independent living and each resident would enter into an individual tenancy agreement for each flat. A communal area and carer's office space would also be provided in single storey elements between the apartment buildings. Whilst 24/7-hour care staff would be present on site, care would be provided on a domestic basis (ie. care within a person's own residence). To facilitate this development, the existing semi-detached dwelling on the site frontage would be demolished, together with the five ancillary outbuildings to the rear.
- 1.5 This application has been accompanied by the following:
- Planning, Design and Access Statement
 - Arboricultural Impact Assessment, Tree Schedule and Constraints Plan
 - Preliminary Ecology Appraisal
 - Highways Access Plan
 - Drainage Strategy
 - Viability Appraisal
 - Elevation, Floor and Block Plans
 - Unilateral Undertaking for Wheeled Bins
- 1.5 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

2 NATIONAL GUIDANCE

- 2.1 The National Planning Policy Framework (NPPF 2023) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2023 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'
- 2.2 The NPPF 2023 sets out the Government's planning policies for (amongst other things):
- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - achieving well-designed, beautiful and safe places;
 - conserving and enhancing the natural, built and historic environment

2.3 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Planning Practice Guidance and the National Design Guide 2021 are also relevant and material considerations.

2.4 For full details visit the government website [National Guidance](#)

3. PLANNING POLICIES

3.1 Huntingdonshire's Local Plan to 2036 (Adopted 15th May 2019)

- LP1: Amount of Development
- LP2: Strategy for Development
- LP4: Contributing to Infrastructure Delivery
- LP5: Flood Risk
- LP6: Waste Water Management
- LP9: Small Settlements
- LP11: Design Context
- LP12: Design Implementation
- LP14: Amenity
- LP15: Surface Water
- LP16: Sustainable Travel
- LP17: Parking Provision and Vehicle Movement
- LP24: Affordable Housing Provision
- LP25: Housing Mix
- LP26: Specialist Housing
- LP30: Biodiversity and Geodiversity
- LP31: Trees, Woodland, Hedges and Hedgerows
- LP34: Heritage Assets and their Settings

3.2 Supplementary Planning Documents (SPD) and Guidance:

- Huntingdonshire Design Guide Supplementary Planning Document (2017)
- Developer Contributions SPD (2011)
- Huntingdonshire Landscape and Townscape SPD (2022)
- Huntingdonshire Strategic Flood Risk Assessment (2017)
- Cambridgeshire Flood and Water SPD (2017)
- LDF Developer Contributions SPD (2011)
- Annual Monitoring Review regarding housing land supply (2020)
- Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021)

Local policies are viewable at <https://www.huntingdonshire.gov.uk>

3.3 The National Design Guide (2021):

- C1 - Understand and relate well to the site, its local and wider context
- I1 - Respond to existing local character and identity
- I2 - Well-designed, high quality and attractive
- B2 - Appropriate building types and forms

- M3 - Well-considered parking, servicing and utilities infrastructure for all users
- N3 - Support rich and varied biodiversity
- H1 - Healthy, comfortable and safe internal and external environment
- H2 - Well-related to external amenity and public spaces
- H3 - Attention to detail: storage, waste, servicing and utilities.

For full details visit the government website

4. PLANNING HISTORY

- 4.1 20/00247/OUT-Outline Planning Application for 6 dwellings (all matters reserved), requiring demolition of host dwelling, retail shop and equine facilities.-Permitted 21.08.2020
- 4.2 APP/H0520/W/19/3237270-Outline planning application for up to 6 dwellinghouses (all matters reserved except means of access), requiring demolition of host dwelling and equine facilities- Dismissed 09.01.2020
- 4.3 19/00292/OUT- Outline planning application for up to 6 dwellinghouses (all matters reserved except means of access), requiring demolition of host dwelling and equine facilities- Refused 04.02.2019
- 4.4 17/00779/FUL-rection of 2 X 2 storey 4 bedroom detached houses with garages-Permitted 06.10.2017
- 4.5 16/01408/FUL-Permanent Planning Permission after temporary Permission 15/00512/FUL for storage and occasional retail sale of equestrian clothing and ancillary items-Permitted 26.09.2016
- 4.6 15/00512/FUL-Change of use of barn from domestic storage to the storage and occasional retail sale of equestrian clothing and ancillary items-Permitted 03.07.2015

5. CONSULTATIONS

- 5.1 Farcet Parish Council- Recommend Refusal. The proposed access would be narrow and cause a highways safety risk. The village has a lack of community facilities for residents. The proposal would cause additional strain onto the local GP surgery. Limited public transport to service residents.
- 5.2 Cambridgeshire County Council Local Highway Authority – No objection subject to the imposition of conditions in the interests of highways safety.

- 5.3 County Archaeologist - No objection. Due to the archaeological potential of the site, recommends the imposition of a pre-commencement condition for further archaeological investigation.
- 5.5 Arboricultural Officer- No objection. Recommends the imposition of a condition to ensure boundary trees and hedges near to the proposal are protected during construction.
- 5.6 Environmental Health- No objection. Recommends the imposition of a pre commencement condition seeking details of a Construction Environment Management Plan (CEMP) as the development would be close to existing residents.
- 5.7 Affordable Housing Officer-No objection. There is sufficient research conducted by the County Council to demonstrate the need for assisted housing for people with learning disabilities. Recommends that the s106 should obligate the developer to give priority to individuals with a connection to Huntingdonshire and the accommodation remains solely for this needs group in perpetuity.
- 5.8 Urban Design Officer- No objection the officer supports the scheme in design terms. Recommend the imposition of conditions securing material, cycle storage, access gate, street lighting, finished floor levels, hard and soft landscaping details.
- 5.9 Anglian Water-No objection. Foul drainage from this development is in the catchment of Peterborough (Flag Fen) Water Recycling Centre that would have capacity for these flows. Recommend the imposition of a surface water drainage system condition.
- 5.10 Lead Local Flood Authority- No objection. Surface water from the proposed development can be managed through permeable paving which would restrict surface water discharge and provides water quality treatment. Recommends a condition to seek further surface water strategy details.
- 5.11 Candent Gas- No objection and recommend an informative note should the development be permitted.

6. REPRESENTATIONS

- 6.1 Three third party representations have been received in objection, raising the following matters:
- The applicants seek to infill the gaps within the southern shared boundary hedge. Third parties believe this boundary treatment is unsuitable due to the maintenance of the hedge.
 - Concerns the proposal would exasperate congestion on Peterborough Road.

- Concerns the adjacent neighbours will be overlooked by the proposed two storey apartment buildings.
- Highways and pedestrian safety concerns.

6.2 No letters of support were received from households during the course of the application.

7. ASSESSMENT

7.1 When determining planning applications, it is necessary to establish what weight should be given to each plan's policies in order to come to a decision. The following legislation, government policy and guidance outline how this should be done.

7.2 As set out within the Planning and Compulsory Purchase Act 2004 (Section 38(6)) and the Town and Country Planning Act 1990 (Section 70(2)) in dealing with planning applications the Local Planning Authority shall have regard to have provisions of the development plan, so far as material to the application, and to any other material considerations. This is reiterated within the NPPF (2022). The development plan is defined in Section 38(3)(b) of the 2004 Act as "the development plan documents (taken as a whole) that have been adopted or approved in that area".

7.3 In Huntingdonshire the Development Plan (relevant to this applications) consists of:

- Huntingdonshire's Local Plan to 2036 (2019)
- Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021)

7.4 The statutory term 'material considerations' has been broadly construed to include any consideration relevant in the circumstances which bears on the use or development of the land: *Cala Homes (South) Ltd v Secretary of State for Communities and Local Government & Anor* [2011] EWHC 97 (Admin); [2011] 1 P. & C.R. 22, per Lindblom J. Whilst accepting that the NPPF does not change the statutory status of the Development Plan, paragraph 2 confirms that it is a material consideration and significant weight is given to this in determining applications.

7.5 The main issues to consider in the determination of this application are:

- Principle of development
- Design, Visual Amenity and Impact on the Character and Appearance of the Area
- Residential Amenity
- Highway Safety, Access and Parking Provision
- Biodiversity and Impact on Trees
- Flood Risk and Drainage
- Accessible and Adaptable Dwellings
- Water Efficiency

- Developer Contributions

The Principle of Development

- 7.6 Huntingdonshire's strategy for development is set out in Policy LP2 of the Local Plan and looks to concentrate development in locations which provide, or have the potential to provide, the most comprehensive range of services and facilities. The application site is within the Small Settlement of Farcet as designated by Huntingdonshire's Local Plan, whereby Policy LP9 is applicable to this application.
- 7.7 Policy LP 9 states "*A proposal which is located within a built-up area of a Small Settlement will be supported where the amount and location of development proposed is sustainable in relation to the:*
- a. level of service and infrastructure provision within the settlement;*
 - b. opportunities for users of the proposed development to access everyday services and facilities by sustainable modes of travel including walking, cycling and public transport;*
 - c. effect on the character of the immediate locality and the settlement as a whole."*
- 7.8 The Local Plan does not define the extent of a built-up settlement on a map and as such each site is assessed independently. A distinct group of buildings that includes 30 or more homes and land which relates more to the group of buildings rather than to the surrounding countryside are factors considered to form part of the built-up area.
- 7.9 The application site has been subject to various applications, in the dismissed appeal (ref. APP/H0520/W/19/3237270) for the erection of 6 dwellings the Inspector concluded that the land up to the western boundary of the menage fell within the "built-up area". The land beyond the western boundary of the menage was considered to be countryside, separate from the built-up area and not well-related to it. The site was also subject to a later outline application (ref 20/00247/OUT) whereby permission was granted for the erection of 6 dwellings with a reduced red line boundary site plan. Subsequently, this application site, with an equivalent red line boundary site plan, is considered to be within the built-up area of Farcet.
- 7.10 In regard to criteria a and b of Local Plan Policy LP9, whilst the facilities and services in Farcet are limited to a village hall, the Village Club, a primary school and a convenience store with post office, the city centre of Peterborough offering an extensive range of facilities is approximately 2 miles north of the village. Regular bus services running between Yaxley and Peterborough (every 30 minutes) can be accessed from the site via foot. Officers acknowledge the Parishes concerns raised in regard to the limited

services and facilities in the locality however, as per the principles of sustainable development a Small Settlement which offers a range of services such as a shop, village hall, public house and primary school offers far greater opportunities than a Small Settlement with few or no services or facilities where only very small scale development opportunities are likely to be sustainable (paragraph 4.103 of the Local Plan). Officers also acknowledge the Parishes concerns raised in regard to irregular bus services in the locality however, the application site is located within walking distance from the nearest bus stop and services are provided within 30 minutes between the hours of 05:00am and 23:30pm Monday to Saturday. On Sundays and Public Holidays, bus services are provided between 08:30am to 23:30pm every hour. Officers therefore consider this application site to be a sustainable location for this scale of development.

- 7.11 As discussed in latter sections of this report, the proposed design, scale and massing of the development is considered to positively contribute to the character and appearance of the area in accordance with criteria c of Local Plan Policy LP9.
- 7.12 The principle of residential development on the site is therefore considered to be acceptable and in accordance with Policies LP2 and LP9 of the Huntingdonshire Local Plan to 2036.

Specialist Housing

- 7.13 Local Plan Policy LP26 seeks to ensure that specialist housing development contributes to a range of attractive housing options for older people and those with specific needs, including self-contained housing (Class C3) and residential institutions (Class C2). This application seeks to erect 12 self-contained flats (Class C3) for adults with learning difficulties and physical health disabilities. The three blocks of flats would be connected with a single storey communal area to serve the residents. An office for the care company which would operate from the site has also been provided in the layout.
- 7.14 Policy LP26 which states that *“a proposal for self-contained specialist housing (class 'C3') will be supported where it will:*
a.be easily accessible to shops, services, community facilities, public transport and social networks appropriate to the needs of the occupiers;
b.be integrated with the wider community;
c. incorporate a mix of tenures including affordable homes in accordance with policy LP 24 'Affordable Housing Provision'; and
d. facilitate a high quality of life for residents”
- 7.15 Having regard to criteria a, Farcet’s village hall, the village club and shop with post office would provide residents with daily convenience and community services, yet the sites proximity to

Peterborough would also offer residence a broad range of amenities. Peterborough can be accessed via bus 150 meters from the site.

- 7.16 In terms of criteria b, the development is designed with a purpose landscaped communal garden, offering residence attractive outdoor amenity space whilst also softening the whole development from the open countryside. The proposal also seeks to erect a single-story communal area to encourage social networks between residents.
- 7.17 Criteria c. will be discussed in latter sections of this report however, this proposal is considered to accord with the criteria. The proposal accords with nationally prescribed space standards, as such the proposal would provide a high quality of life for residents, in accordance with criteria d of Policy LP26.
- 7.18 In terms of the care element, the proposed development would be staffed by circa 5-6 carers on site at any one time. Whilst 24/7-hour care staff would be present on site, care would be provided on a domestic basis (ie. care within a person's own residence). Each apartment would have a living room, kitchen area, bedroom and bathroom to offer independent living and each resident would enter into an individual tenancy agreement for each flat. As such officers are satisfied the proposed development is Use Class C3. Conditions are recommended to be imposed if Members are minded to grant consent to ensure the development remains available for assisted living in perpetuity, and does not revert to open market apartments.
- 7.19 Cambridgeshire County Councils Housing Needs Assessment for Specialist Housing identifies that the growth forecast for 18-64 year olds is projected to increase by 10% between 2021-2041 in the district of Huntingdonshire. The result of the assessment shows that demand for all forms of specialist supported accommodation in Cambridgeshire will grow by 86% between 2022 and 2041. It is also predicted that the growth for specialist supported accommodation shall see an increase of 114% for supported living and 36% for residential, with a 3% drop in nursing beds. The report sufficiently demonstrates the level of need for this specialist housing and as such the Housing Strategy Officer and Cambridgeshire County Council support this application.
- 7.20 As set out above, it is considered that the proposal accords with Policies LP2 and LP9 and broadly accords with Policy LP26 of the Local Plan. The proposal would deliver 12 independent living suites (C3 use) to meet the identified need of specialist housing.

Design, Visual Amenity and Impact on the Character and Appearance of the Area

- 7.21 Policies LP11 and LP12 of Huntingdonshire's Local Plan to 2036 state that developments should respond positively to their context, draw inspiration from the key characteristics of its surroundings and contribute positively to the area's character and identity.
- 7.22 The application site is within the Fens Landscape Character Area, per the Huntingdonshire Landscape and Townscape SPD, whereby villages are linear in form along main roads. Given the horizontal nature of the Fens, vertical features can be unusually prominent. At present the site comprises a two storey semi-detached dwelling, its residential curtilage, associated ancillary buildings and the former menage to the west. The residential cul-de-sac known as Thristlenst sits to the south and comprises of single storey bungalows. Open countryside is to the north and west of the site boundaries.
- 7.23 The proposed scheme seeks to demolish No. 93 Peterborough Road and associated retail and equine facilities and erect 12 single bedroom assisted living apartments (Use Class C3) with ancillary office and communal area. The proposed apartments are set out in three, two storey buildings connected by intervening single storey office and communal space buildings.
- 7.24 The proposed linear development would be setback from Peterborough Road and sited to the north of the site. Whilst backland development is generally resisted, the development proposed on this site would replace existing ancillary backland buildings on site, the layout arrangement would closely reflect the indicative arrangement of Plots 1-4 on the approved application (20/00247/OUT) and therefore in this instance the siting is considered to be acceptable. The south boundary of the site also sits adjacent to the back gardens of the properties on Throstlenest, so the proposed development would be viewed in the context of this existing adjacent housing cul dec sac development. The three apartment blocks would be screened by the retained hedgerow to the north. This natural screening would reduce the visual impact of the proposed development from the surrounding countryside. Landscaping conditions are recommended to be imposed on any granted planning consent to ensure the development would not be visually obtrusive from the west. The proposed development is considered to respect the surrounding built form of the village of Farcet and the proposed landscaping arrangements would soften the apartment blocks from the flat surrounding countryside of the Fens.
- 7.25 The traditional vernacular along Peterborough Road is varied between two storey semi-detached and detached dwellings and detached bungalows however, a car wash facility and associated single storey industrial units are located 60 m to the northeast of the site. The proposed units are to be two storeys in height, with approximately 5.2m eaves and 8.4m ridge heights and feature traditional details including corbelled brick verges, exposed rafter

feet to eaves and brick string courses. Chimneys, another detail used within the locality, are proposed and would break up and articulate the roof lines, reinforce the traditional appearance of units and relate to existing dwellings fronting Peterborough Road. The general appearance of the apartment blocks is therefore supported in design terms.

- 7.26 Officers acknowledge third party representations raised concerning the maintenance of the existing and proposed shared boundary hedgerows for residential dwellings which back onto the site, such as Nos.9-12 Throstlenest and 89 Peterborough Road. A condition seeking landscaping details and maintenance details including long term design objectives, management responsibilities and maintenance schedules for all landscape areas would be recommended to be imposed, if Members are minded to grant planning permission.
- 7.27 Subject to the imposition of conditions seeking details of hard and soft landscaping, landscape maintenance, materials, cycle storage and architectural details (e.g colour and location of meter boxes, flues, vents and extracts and the reveal depth of windows and doors), access gate, street lighting and finished floor levels, the proposed development is considered to be in accordance with Policies LP9 part C, LP11 and LP12 of Huntingdonshire's Local Plan to 2036.

Residential Amenity

- 7.28 Policy LP14 of the Local Plan to 2036 states proposals will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.

Amenity of neighbouring properties

- 7.29 Nos. 9-12 Throstlenest and No. 91-89 and 95-98 Peterborough Road are the closest neighbouring residential properties to the proposal and are most likely to be impacted as a result of the proposed development.
- 7.30 No. 12 Throstlenest a single storey dwelling at its closest point would be approximately 17 metres from block C, increasing to approximately 25m. Whilst the HDC design guide recommends a separation distance of 21 metres between first floor windows to protect privacy to these rooms, given that No. 12 is single storey in nature, the staggered separation distance and relationship, and the applicant's proposal to enhance the existing hedgerow to the south, this relationship is considered to be acceptable in residential amenity terms. In addition, block C would be sited to the north of these properties therefore there would be no unacceptable, overlooking, overbearing or overshadowing impacts. Nos. 9-11 Throstlenest are separated by over 21 metres

from the proposed development blocks and are sited in a suitable location to protect privacy.

- 7.31 Access to the proposed apartment blocks would be widened between No.91 and 95, Peterborough Road. Whilst trip generation to and from the proposed specialist housing would increase the use of this access from that existing and result in some noise and disturbance impacts, given the scale of the proposal, the intervening single storey garage building at the side of No.91 and their first floor windows on the south elevation serve non-habitable rooms, the noise impacts are not considered to be significant or unacceptable in planning terms. No first-floor side windows are proposed on Block A which would face directly to the rear of the properties on Peterborough Road. The rear elevations of No.91 and 95 Peterborough Road would be separated by 28 metres from the proposed apartment block A and as such this large separation distance would be acceptable, and acceptable relationships with regards to overshadowing, overbearing and overlooking impacts would be proposed.
- 7.32 Officers have considered the impact of the development on No 89 Peterborough Road and in particular the overlooking concerns raised by residents. Blocks A and B of the development proposal would be separated from the common boundary with No. 89 by 13 metres and windows and rooflights on the southern elevations of Blocks A and B would serve habitable rooms. The rear amenity space of No 89 Peterborough Road is adjacent to the application site. Given the residential setting oblique views into the rear amenity space of No 89 Peterborough Road already occurs from surrounding properties on Peterborough Road. Whilst this proposal would increase the existing overlooking of this neighbour's garden, the separation distance between the properties and the proposed boundary treatments, secured by condition, would ensure it would not be considered unacceptable in this residential setting. Therefore it is not considered that the proposed flats would result in any unacceptable detrimental impacts on the residential amenity of this neighbour in terms of overbearing, overshadowing or overlooking impacts.

Amenity for future occupiers

- 7.33 The proposed development is considered to provide a high standard of amenity for future occupants of the apartments, as gross internal floor space would be over and above nationally prescribed space standards for a 1-bedroom 1-person dwelling, provides communal outdoor amenity space and is screened with the existing hedging to offer privacy. Furthermore, all habitable rooms of the proposed flats are serviced with windows which offers appropriate levels of daylight and sunlight facilitating a high quality of life for residents, in accordance with Local Plan Policy LP26 part d.

- 7.34 Taking the above factors into consideration, the proposal is considered to be acceptable with regard to its impact on residential amenity and therefore accords with Policy LP14 of Huntingdonshire's Local Plan to 2036, the Huntingdonshire Design Guide SPD and Section 12 of the National Planning Policy Framework in this regard.

Highway Safety, Access and Parking Provision

- 7.35 Policy LP17 of the Local Plan to 2036 seeks to ensure that new development incorporates appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.

Access

- 7.36 The applicants seek to demolish No.93 Peterborough Road to widen the existing access and to improve the entrance to the rear of the site. The proposed 5m wide two-way vehicle access with 1.2m wide footpath would be located off Peterborough Road, between dwellings No.91 and 95, and the main road is subject to a 30mph speed limit. The proposed access arrangements would achieve 1.5 m x 1.5 m pedestrian visibility splays on each side.
- 7.37 Whilst the Highways Officer acknowledges the proposal may result in the intensification of the access due to the movements associated with 5-6 daily carers, when compared to the permitted development of 6 dwellings, on balance the Highway Officer is satisfied that the trip generation would be similar.
- 7.38 Alterations to the public highway are sought by this application to tie-in a new pedestrian footway and dropped kerb to accommodate two -way traffic movements. Whilst these alterations would be formally be agreed through a technical section 278 works application to the Local Highways Authority, the Highways Officers have raised no concerns in planning terms, in respect of the proposed access arrangement on highways safety grounds.
- 7.39 The concerns raised by objectors in terms of traffic congestion on Peterborough Road are acknowledged, however this is an existing situation over which this application has no control. The application site can be accessed via sustainable methods of transport given its proximity to a bus stop and would generate the similar number of trips associated with 6 dwellings previously permitted on the site, so it is not considered that future residents would significantly add to the pressure of traffic congestion in the vicinity of the site.
- 7.40 Officers acknowledge concerns raised by third parties in regard to pedestrian safety. The proposed accesses would have the benefit of achieving 1.5 metre x 1.5 metre pedestrian visibility splays, and

a 1.2 wide pedestrian footpath is proposed into the site. The Local Highway Authority do not consider the widening and intensification of the existing access from serving 1 dwelling presently, to the 12 dwellings proposed, would result in any unacceptable highway safety dangers in this location. The site also previously had the benefit of planning permission for 6 dwellings on the site. Therefore whilst third party objections raised in respect of highways safety have been considered, in this instance Officers and the Local Highway Authority do not consider the proposal would result in unacceptable highway safety concerns, subject to the imposition of the recommended conditions.

- 7.41 The application is also supported with vehicle tracking. The submitted tracking demonstrates larger vehicles can enter and leave the site in a forward gear using the turning head proposed on site. The wheeled bin store would be located approximately 8 metres from the new access to allow refuse vehicles to reverse into the site and collect waste. The proposal is therefore considered to provide a safe and acceptable access arrangement that would not result in any highway safety dangers in accordance with Policy LP 17 of Huntingdonshire's Local Plan to 2036.

Vehicle and Cycle Parking

- 7.42 A communal car park area is proposed to the frontage of the buildings to accommodate 12 car parking bays, including 2 disabled, at the end of the access road. As the LPA do not have a specific policy stipulating the number of vehicle parking spaces required in relation to the number of bedrooms, however the one communal off street parking space per assisted apartment is considered acceptable in this instance. This is in line with the supporting material submitted with the application, as it is not anticipated that each resident of the flat would have a car. Given the application site is also in with 150 meters of a bus stop, offering regular services to the centre of Peterborough and Yaxley, Officers are satisfied that care givers, visitors and residents would have sufficient off-street parking.
- 7.43 The proposed layout also indicates a communal space for the storage of cycles. The stores should be sized to accommodate 1 bike per bedroom as per Local Plan Policy LP17. Cycle storage details are recommended to be secured by condition if Members are minded to grant permission.
- 7.44 The proposed vehicle and cycle parking is therefore considered to be in accordance with Local Plan Policy LP17, subject to conditions.

Biodiversity and Impact on Trees

- 7.45 Policy LP30 of the Local Plan requires proposals to demonstrate that all potential adverse impacts on biodiversity and geodiversity

have been investigated and ensure no net loss in biodiversity and provide a net gain where possible.

- 7.46 A Preliminary Ecological Appraisal (PEA) accompanying this application found the site to be of low ecological value. The site primarily comprising of hard standing, unsealed surfaces, modified grassland, hedgerows and scrub, offers limited habitat value for protected and notable species. Whilst the presence of bats and badgers have not been recorded on site the hedgerow boundaries may offer foraging opportunities for the protected species.
- 7.47 The six buildings on site have been assessed for their suitability for roosting bats and identified as having negligible to low suitability. The site visit conducted by the report ecologist found no evidence of roosting bats.
- 7.48 Chapter 6 of the PEA recommends precautionary working methods and tree protection measures during construction to mitigate any impacts to protected species or notable fauna. The report also offers enhancement measures such as native tree and scrub planting, installation of bird and bat boxes, native species rich hedgerow planting to offset the loss of modified grassland. Biodiversity mitigation and enhancement measures are recommended to be secured by condition to any granted planning permission.
- 7.49 This application for major development was validated 4th January 2024 and prior to the implementation of a mandatory 10% Biodiversity Net Gain. Whilst the submitted PEA recommends the implementation of biodiversity mitigation and enhancement measures which can be secured by condition to any permission, the obligation of 10% Biodiversity Net Gain is not considered mandatory in this instance.
- 7.50 In terms of tree removal, the application is accompanied with a tree constraints plan and tree schedule. The proposed development has been designed to avoid the removal of any trees or hedgerows. A condition seeking a Tree Protection Plan, Arboricultural Method Statement and Monitoring Schedule is recommended to be imposed to any granted consent, to ensure initial site operations do not harm any trees, shrubs and hedges to be retained on and adjacent to the site.
- 7.51 Overall, Officers are satisfied with the findings of the submitted appraisal and given the site as existing primarily comprises of unvegetated hardstanding, low value modified grassland, with hedgerow boundaries, the proposal is not considered to have adverse impacts on biodiversity and geodiversity. Conditions are recommended to be imposed if Members are minded to grant planning permission to ensure the development would be carried out in strict accordance with the recommendations of the PEA and British Standard Tree Protection Measures BS5837:2012. Subject

to the imposition of conditions, the proposal is considered to be in accordance with the objectives of Policy LP30 of Huntingdonshire's Local Plan and Section 15 of the National Planning Policy Framework.

Flood Risk and Drainage

- 7.52 National guidance and Policy LP5 of the Local Plan to 2036 seeks to steer new developments to areas at lowest risk of flooding and advises this should be done through application of the Sequential Test, and if appropriate the Exceptions Test (as set out in paragraphs 165-175 of the NPPF (2023)).
- 7.53 The application site is within Flood Zone 1 (at low risk from river and sea flooding), based on Environment Agency Floods Maps and at low risk of ground water flooding per the Strategic Flood Risk Assessment 2017. Given this and the site is less than 1 hectare in size, the submission of a flood risk assessment, sequential and exceptions tests for flooding are not required in accordance with the NPPF and NPPG.
- 7.54 The submitted application form states surface water will be disposed of through a sustainable drainage system and foul water will be discharged into sewer mains. The Lead Local Flood Authority have been consulted as part of this application and raise no objection in principle with the submitted surface water drainage scheme. Surface water from the development would be managed through the use of permeable paving, which would restrict surface water discharge to 2 litres a second (l/s) and would act as water quality treatment. Anglian Water have been consulted as part of this application and state there is capacity in the Peterborough catchment to treat foul water from this proposal and as such raise no objection.
- 7.55 Further drainage details are recommended to be sought by the LLFA Officer and Anglian Water and therefore, subject to the imposition of surface and foul water condition the proposed development is considered to be acceptable in accordance with the aim of Policies LP5, LP6 and LP15 of the Huntingdonshire Local Plan to 2036.

Accessible and Adaptable Homes

- 7.56 Policy LP25 of the Local Plan to 2036 requires proposals that include housing to meet the optional Building Regulation requirement M4(2) "Accessible and adaptable dwellings" unless it can be demonstrated that site specific factors make this unachievable. An email received from the agent on the 17th January 2024 confirmed the development would be M4(2) compliant. A condition is recommended to be imposed upon any granted planning consent to ensure that the development would

be built in accordance with these standards and maintained for the life of the development.

Water Efficiency

- 7.57 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G of the Building Regulations. A condition is recommended to be imposed upon any granted planning consent to ensure that the development would be built in accordance with these standards and that they are maintained for the life of the development.

Developer Contributions

Community Infrastructure Levy (CIL)

- 7.58 The development will be CIL liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Affordable Housing Provision

- 7.59 Local Plan Policy LP24 (Affordable Housing Provision) states a proposal which includes housing development will be required to provide a range of affordable housing types, sizes and tenures. *"A proposal will be supported where:*
- a. it delivers a target of 40% affordable housing on a site where 11 homes or 1,001m² residential floorspace (gross internal area) or more are proposed;*
 - b. it provides approximately 70% of the new affordable housing units as social or affordable rented properties with the balance made up of other affordable tenures;*
 - c. affordable housing is dispersed across the development in small clusters of dwellings; and*
 - d. it ensures that the appearance of affordable housing units is externally indistinguishable from that of open market housing."*
- 7.60 In instances, where it can be demonstrated that the affordable housing provision would not be viable due to specific site conditions or other material considerations affecting development of the site, an alternative dwelling or tenure mix or a lower level of provision may be supported.
- 7.61 As the development proposal seeks to erect 12 assisted living units for a single person or by people to be regarded as forming a single household (Use Class C3), the provision of 5 affordable dwellings is considered necessary to be policy compliant. However, in this instance the developer submitted a viability appraisal with associated calculations to claim the development would be unviable should 5 affordable dwellings be provided on site. An independent assessment of this viability appraisal was undertaken, which agreed with the findings of the report, that the

provision 5 affordable dwellings on this site would render the development unviable.

- 7.62 As viability has been taken into account, in order to deliver this specialist housing, a condition/legal agreement is recommended to ensure that the proposed apartments would remain solely as assisted living accommodation for this need group in perpetuity, and not revert to open market housing at a future date.
- 7.63 The Housing Strategy Officer was consulted as part of this application and recommended a section 106 agreement which would obligate the developer to give priority to people of Huntingdonshire with these needs.

Open Space Contribution

- 7.64 As per the Developer Contributions SPD, Green space land contributions will apply to residential developments of 10 or more units. In this instance the proposed development is applicable to provide an on-site provision of land for open space within the development which is split into formal and informal open space.
- 7.65 As per the calculations in the Developer Contributions SPD, the proposed development of 12 apartments would derive a total population of 14.52 people. An onsite provision of 308 meters squared of informal space including 158 meters squared of amenity green space would be required. The proposed development would overprovide the onsite contribution by approximately 100 square meters of amenity green space available for the community use.
- 7.66 This major development of 12 units also requires an onsite provision of allotments, community gardens and equipped play spaces. These contributions are considered excessive to meet the needs of the development, noting the development overprovides on other forms of open space. Officers consider the proposed extent of open green space to be acceptable and would provide and appropriate balance in amenity open space to service the needs of the community. In addition, contributions would be required towards maintenance depending on the party that adopts the green space on site, to be calculated in accordance with the updated costs in Appendix 2 of the SPD.
- 7.67 As the proposed development would cater for adults with learning difficulties and physical health disabilities it is anticipated the communal open space on site would be privatised. The proposed development would provide ample amenity open space for residents and carers however, members of the public would not be able to access the site.

S106 Summary

- 7.68 Overall, of the obligations that have been identified and requested, the following are considered to meet the tests in 122 of the CIL

Regulations and would accord with Policy LP4. They are recommended to be sought through a S106 legal agreement in the event of a resolution to approve 23/02502/FUL;

- At least 308 square meters of informal open space.
- A contribution towards wheeled bins of £3345.00 (5 communal bins).
- Prioritise rental to individuals with a connection to Huntingdonshire.
- The accommodation remains solely for this needs group in perpetuity.

Conclusion

- 7.69 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 7.70 The proposal seeks to demolish No.93 Peterborough Road (a semi-detached dwelling), the associated ancillary buildings and barn to the rear. The application seeks planning permission for the erection of three two-storey apartment buildings to provide assisted living accommodation for adults from 18-65 with learning, mental and physical difficulties (Use Class C3).
- 7.71 The proposed development would contribute to the districts housing supply as a windfall site and address an identified need for specialist housing. The site is within the built-up area of the sustainable village of Farcet and the principle of residential development on the site is acceptable.
- 7.72 It is considered the proposed apartment blocks would integrate well with adjacent dwellings and respond positively to the edge of settlement context.
- 7.73 The delivery of policy compliant affordable housing has been proven to be unviable with this development proposal. On balance, the benefits of the delivery of this specialist housing to meet an identified need in the district and county, would outweigh the harm resulting from lack of affordable housing in this instance.
- 7.74 The proposal would also be acceptable in regards to highway safety, flood risk, residential amenity, trees and biodiversity.
- 7.75 Having regard to all relevant material considerations, it is concluded that the proposal would accord with local and national planning policy. Therefore, it is recommended that planning permission be approved.

RECOMMENDATION 23/02502/FUL – Delegated powers to APPROVE subject to conditions as set out in Appendix B and completion of a S106.

OR

REFUSE in the event that the obligation referred to above has not been completed and the applicant is unwilling to agree to an extended period for determination, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

APPENDIX B

Conditions

- Time
- Drawings
- C3 Dwellings for assisted living for specialist needs group to remain in perpetuity
- Details of how the side elevation of No.95 is to be made good and finished, following the demolition of No.93
- Cycle storage details to be submitted
- Landscaping and maintenance
- Materials
- Architectural Details
- Street lighting
- Finished floor levels
- Tree protection details
- Construction Environment Management Plan (CEMP)
- Compliance with recommendations of PEA
- Surface water drainage strategy
- Managing surface water during construction
- Foul water drainage strategy
- Removal of permitted development rights for gates over access
- Access laid out and constructed with access specification
- Parking and servicing laid out prior to occupation.
- Public highway clear during construction
- Visibility splays
- Access drainage
- Building Regulations M4(2) "Accessible and adaptable dwellings
- "Document G "water efficiency" compliance.

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CONTACT OFFICER:

Enquiries about this report to **Charlotte Dew Senior Development Management Officer** – charlotte.dew@huntingdonshire.gov.uk

From: [REDACTED]
To: [DevelopmentControl](#)
Subject: Planning observations
Date: 07 February 2024 12:13:45

Good afternoon,

Farcet Parish Council planning observations are:

23/02502/FUL- Erection of 12 single bedroom assisted living apartments (Use Class C3) with ancillary office and communal area requiring the demolition of a dwelling, retail unit and equine facilities, 93 Peterborough Road Farcet Peterborough
Farcet Parish Council would recommend refusal due to highways safety for vehicle access on/off Peterborough Road with narrow access to property. Lack of community facilities for residents, with additional pressure onto GP surgery and lack of public transport.

[REDACTED]

Kind regards

[REDACTED]
Parish Clerk
Farcet Parish Council

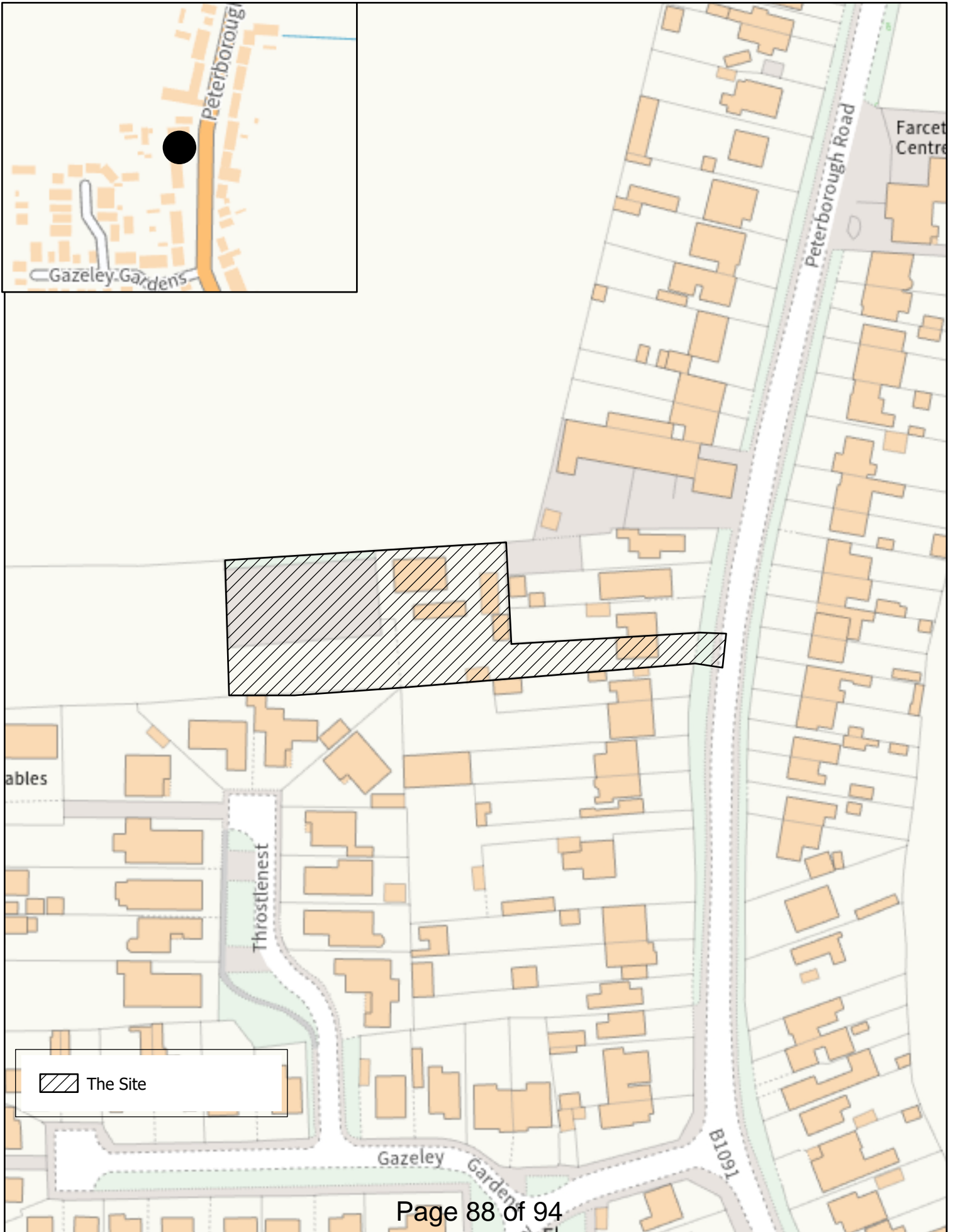
[REDACTED]

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[REDACTED]

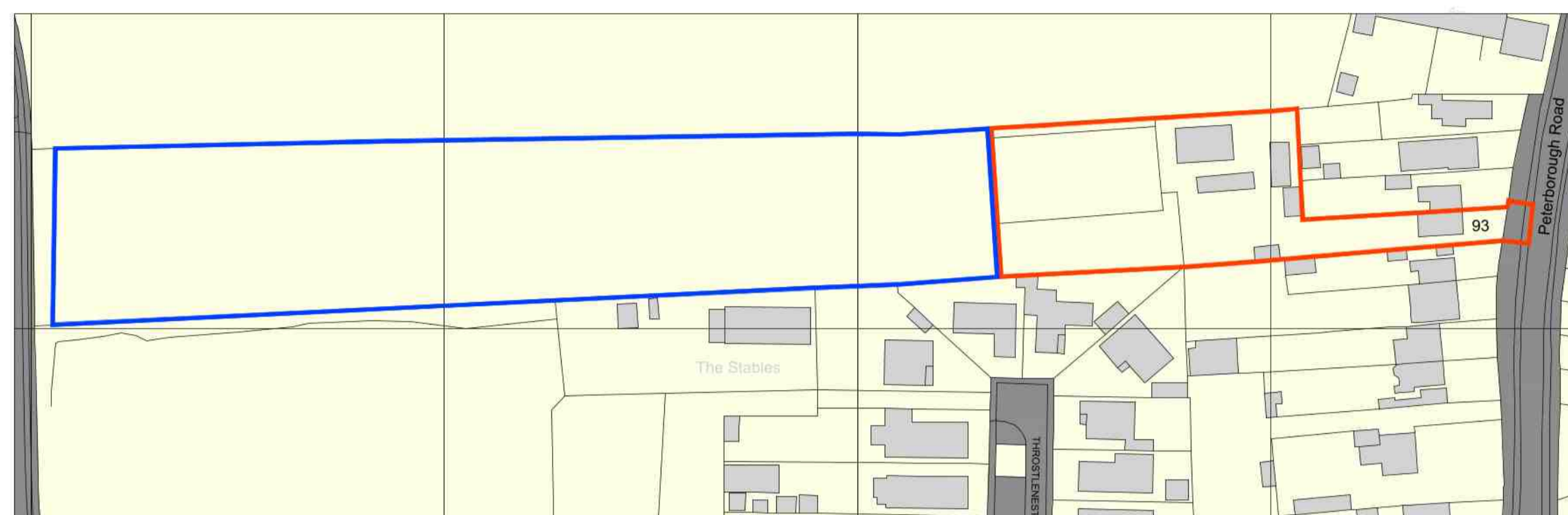


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North point:



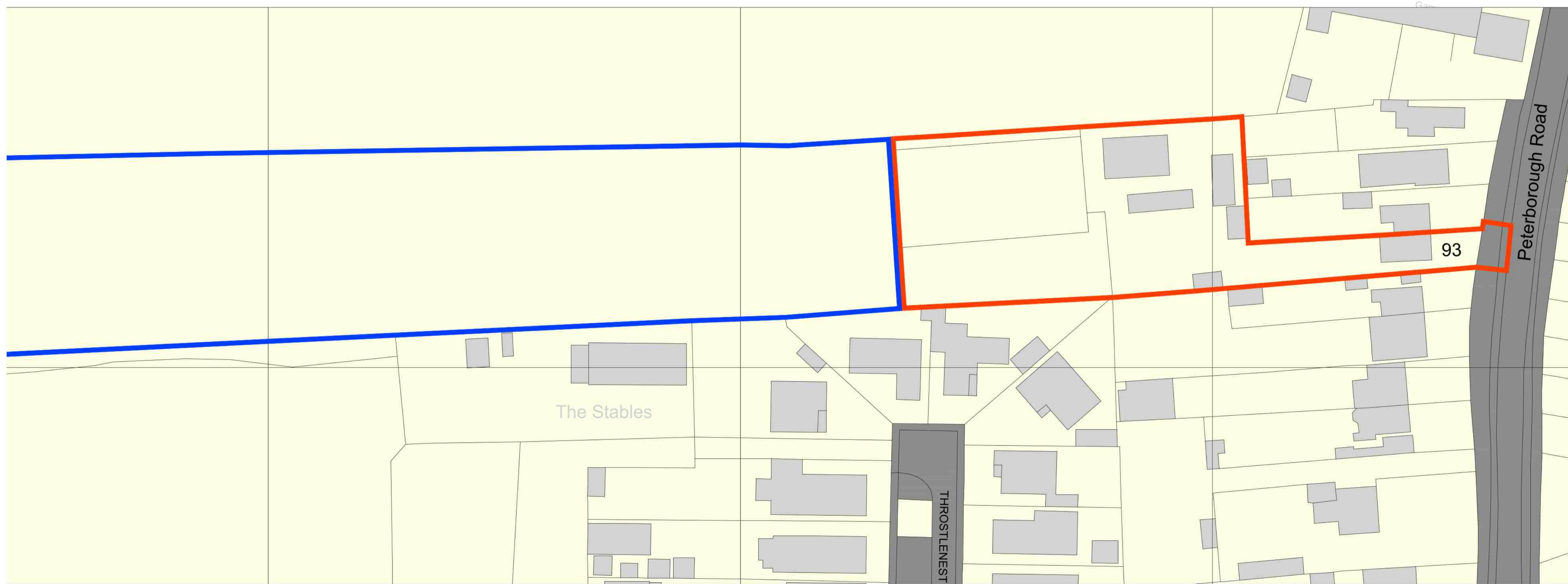
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Location Plan

0 12.5m 25m 37.5m 50m 62.5m 75m 1:1250

Page 89 of 94



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Location Plan

0 5m 10m 15m 20m 25m 1:500

Revision Log:

Rev:	Description:	By:	Date:
P01	Redline Amended	DJG	19.12.23

Project:
 93 Peterborough Road,
 Farcet,
 Peterborough

Client:
 Lynn Waldron

Scale:
 VARIOUS

Drawn by:	Checked:	Date:	Paper Size:
DH		Aug '22	A1

Drawing Title:
 Location Plan

Drawing Status:
 PLANNING ISSUE

Drawing Number:	Revision Number:
5448/LW/22/001	P01



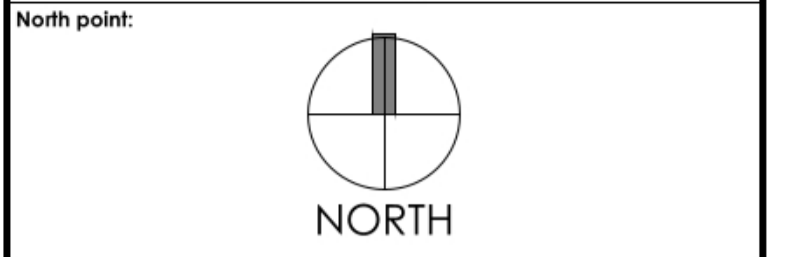
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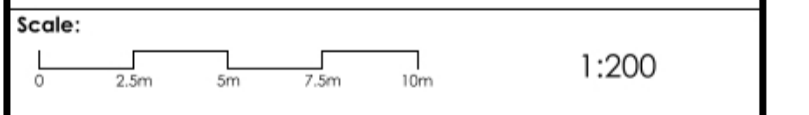
Page 90 of 94

Revision Log:

P03	Updated in accordance with Highways Authority Comments	DJG	02.07.24
P02	Updated in accordance with Highways Authority Comments	DJG	02.07.24
P1	Planning Issue	AO	Feb 24
Rev:	Description:	By:	Date:

Project:
 93 Peterborough Road,
 Farset,
 Peterborough

Client:
 Lynn Waldron



Drawn by:	Checked:	Date:	Paper Size:
DJG		DEC 23	A1

Drawing Title:
 Proposed Site Plan

Drawing Status:
 PLANNING ISSUE

Drawing Number:	Revision Number:
5448/LW/22/15	P03

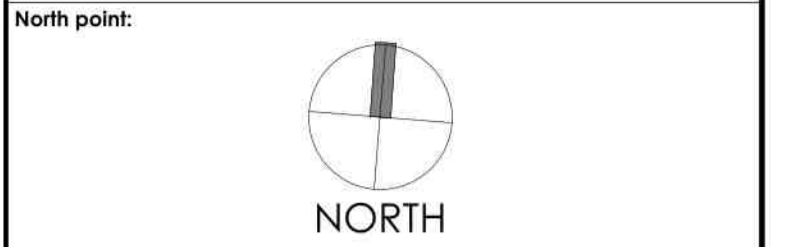
Proposed Site Plan

1:200

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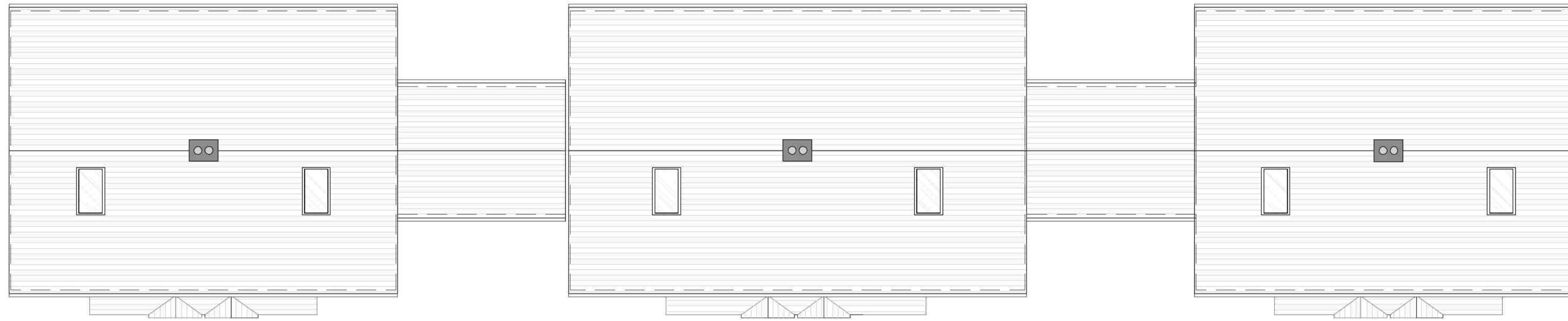
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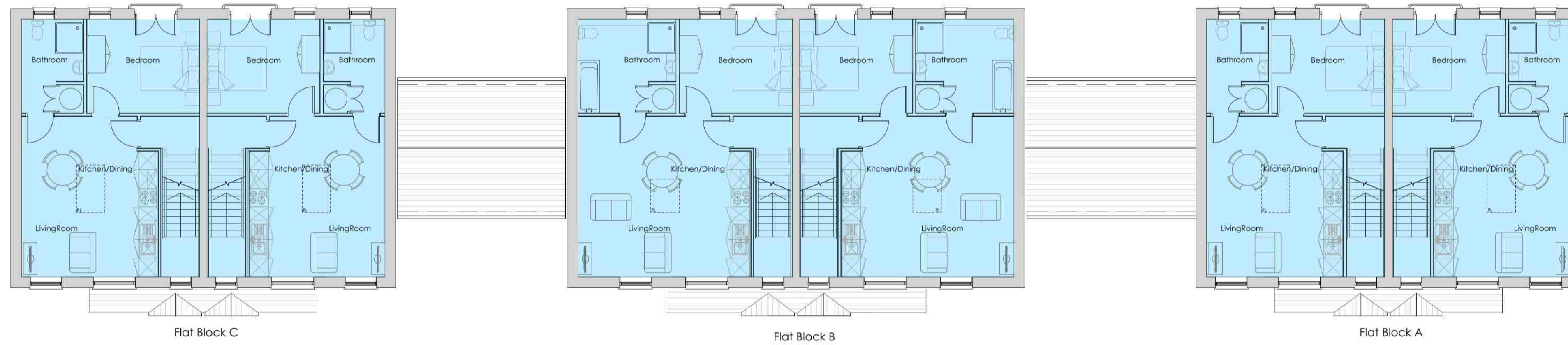
Notes:

AREA - min Gross Internal floor areas		
Location	sq. M ²	sq. Ft ²
Block A - GF	80.75	869.19
Block A - FF (incl stairs)	96.83	1042.2
Block B - GF	100.08	1077.2
Block B - FF (incl stairs)	116.14	1250.1
Block C - GF	80.75	869.19
Block C - FF (incl stairs)	96.83	1042.2
Communal Block - GF	18.6	200.21
Office Block - GF	18.6	200.21
<hr/>		
Total - GF	298.78	3216.06
Total - FF	309.8	3334.68

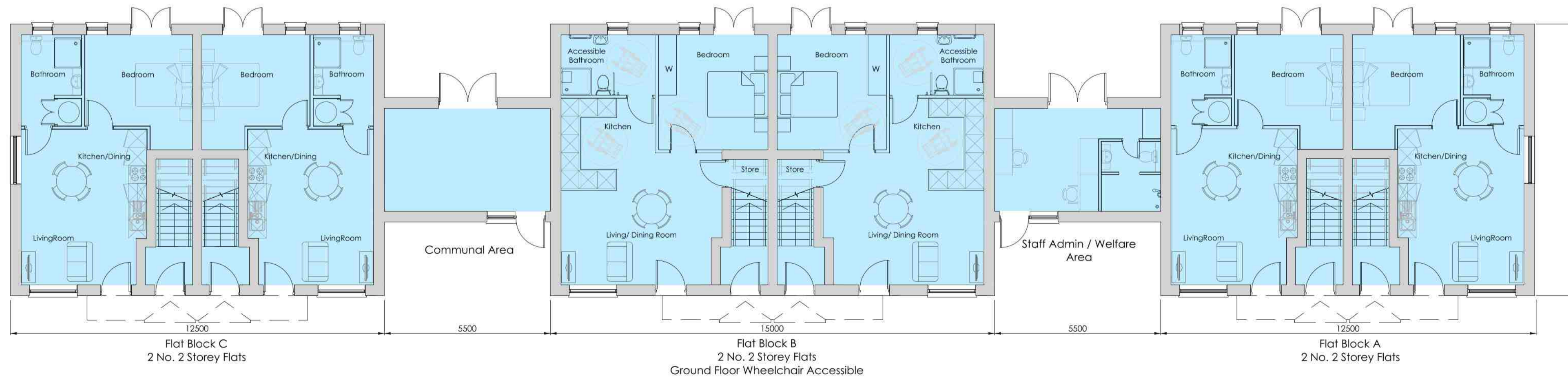
All units to meet min M4(2) accessible and adaptable standards.



Roof Plan 1:100



First Floor Plan 1:100



Ground Floor Plan 1:100

Revision Log:

Rev:	Description:	AO	By:	Date:
P1	Planning Issue			Feb 24

Project:
 93 Peterborough Road,
 Farset,
 Peterborough

Client:
 Aquila Specialist Housing Ltd

Scale:
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Drawn by: OS
 Checked:
 Date: Dec '23
 Paper Size: A1

Drawing Title:
 Proposed Plans

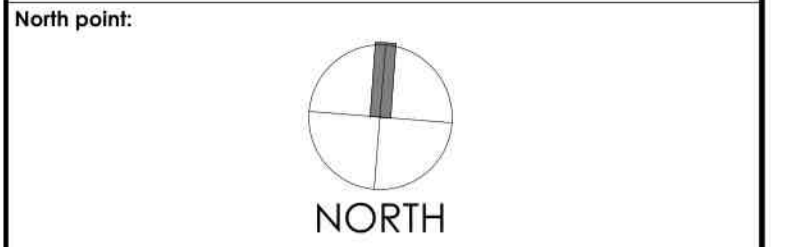
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Drawing Number:
 5448/LW/22/16
 Revision Number:
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Notes:



Front (North) Elevation 1:100



Rear (South) Elevation 1:100



Side (East) Elevation 1:100



Side (West) elevation 1:100

Revision Log:

Rev:	Description:	AO	By:	Date:
P1	Planning Issue			Feb 24

Project:
 93 Peterborough Road,
 Farcet,
 Peterborough

Client:
 Lynn Waldron

Scale:
 1:100

Drawn by: DJG	Checked:	Date: Nov '22	Paper Size: A1
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Drawing Title:
 Block A Plans and Elevations

Drawing Status:
 PLANNING ISSUE

Drawing Number: 5448/LW/22/17	Revision Number: P1
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Planning Appeal Decisions Since August 2024 Committee

Ref No	Appellant	Parish	Proposal	Site	Original Decision	Delegated or DMC	Appeal Determination	Costs
23/006 49/ FUL	Blenheim Land and Homes Ltd - C/O Agent Jennifer Smith - Smith Jenkins Ltd	Spaldwick	Construction of 15 no. dwellings with associated access, car parking and landscaping (re-submission of 22/01167/FUL)	Land East Of Ivy Way Spaldwick	Refused	Delegated	Appeal Allowed	Costs Awarded to Appellant
22/025 34 /FUL	Hargrave Farming Ltd	Ellington	Change of use of existing buildings to create one residential dwelling and associated grounds, including the demolition of a barn and other ancillary structures	Agricultural Buildings Redwood Lodge Farm Grafham Road Ellington	Refused	Delegated	Appeal Allowed	N/A
23/017 86/ FUL	Mrs I Manolache	St Neots	Change of use from amenity land to garden and erect brick wall	47 Springbrook Eynesbury St Neots PE19 2EB	Refused	Delegated	Appeal Dismissed	N/A
23/020 79/ HHFU L	Mr David Williams	Offord Cluny & Offord Darcy	Demolition of garage building. Erection of home office/gym building with associated landscaping and drainage.	22 Graveley Road Offord Darcy St Neots PE19 5RB	Refused	Delegated	Appeal Allowed	N/A
23/012 98/	Mr Andy Grannell	St Neots	Erection of a single-storey timber-framed	Siberia House 30 Cambridge Street	Refused	Delegated		N/A

HHFU L			structure to house hot tub off concrete raft foundation base	St Neots PE19 1JL			Appeal Dismissed	
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